

HADLEY PARK STAGE 1

14-278 Old Castle Road, Castle Hill NSW 2158

ARCHITECTURAL DRAWING LIST

WD001 Cover Page

Application No: 1638

WD200 Main House Plans - Existing
WD201 Main House Elevation - Existing
WD202 Main House Roof Plan and Laundry Elevations - Existing
WD300 Weatherboard Cottage Plan - Existing
WD301 Weatherboard Cottage Elevations - Existing
WD400 Stables and Garage Plans - Existing
WD401 Stables and Garage Elevations - Existing
WD500 Creamery Plan - Existing
WD501 Creamery Elevations - Existing
WD600 Dairy and Milk Storage Shed Plan - Existing
WD601 Dairy and Milk Storage Shed Elevations - Existing
WD602 Race and Fencing Plan - Existing
WD700 Feed Store and Cow Bails Plan - Existing
WD701 Feed Store and Cow Bails Elevations - Existing
WD702 Feed Store and Cow Bails Roof Plan - Existing

These plans should be read in conjunction with the decision notice

WD800 Guest House Plan - Existing
WD801 Guest House Elevations - Existing

WD900 Hay Shed Plan - Existing Ground and Roof
WD901 Hay Shed Elevations - Existing

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE STRUCTURAL AND CIVIL DOCUMENTATION.

STRUCTURAL DRAWING LIST

1842- S101 House Notes

1842- S102 House Ground Floor

1842- S103 House First Floor and Lower Ceiling Plans

1842- S104 House Upper Ceiling and Lower Roof Plans

1842- S105 House Elevations

1842- S106 House Sections and Details

1842- S107 Weatherboard Cottage Roof Framing Remedial Work Plan and Details

1842- S108 Timber Remedial Works Sections and Details Sheet 1

1842- S109 Timber Remedial Works Sections and Details Sheet 2

CONSULTANT CONTACT DETAILS

Consultant Structural - Ducros Design
Contact Person: Mark Du Cros
Address: 26 Telegraph Road, Pymble, NSW 2073
Telephone: 9488 7374
Mobile: 0409 409 034
Email: mark@ducrosdesign.com.au

CIVIL DRAWING LIST

TO BE ADVISED

GENERAL NOTES

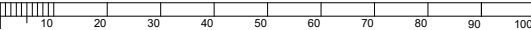
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REVISION

A	13/07/22	ISSUE FOR REVIEW	ES
B	01/08/22	FINAL DRAFT FOR REVIEW	ES
C	24/08/22	CONSULTANT COORDINATION	MS
D	13/10/22	SECTION 60 APPLICATION	MS



USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING. CHECK ALL DIMENSIONS ON SITE.

GENERAL NOTES

EXISTING MATERIALS WHICH HAVE PREVIOUSLY BEEN REMOVED FROM THE BUILDINGS ARE STOCKPILED IN THE FEED STORAGE SHED.

NO EXISTING FABRIC IS TO BE REMOVED OR FROM SITE OR DISPOSED OF WITHOUT WRITTEN APPROVAL OF ARCHITECT.

SALVAGE LOOSE MATERIAL WHEREVER POSSIBLE FOR POTENTIAL REINSTATEMENT OR FUTURE USE.

SALVAGED MATERIAL NOT INCORPORATED IN THE WORK IS TO BE STORED WITHIN STORAGE SHED 2.

REVIEW CONDITION OF ALL SALVAGED ITEMS. DETERMINE IF IT IS POSSIBLE TO REINSTATE IN THEIR ORIGINAL LOCATION.

THE RETENTION OF EXISTING MATERIAL IS TO BE MAXIMISED. IF EXISTING MATERIAL IS NOT ABLE TO BE REPAIRED OR REINSTATED, REPLACE WITH NEW TO MATCH EXISTING.

ALL MATERIALS AND SPECIFICATIONS TO MATCH EXISTING WITH LIKE FOR LIKE REPLACEMENTS ARE TO BE APPROVED BY THE ARCHITECT.

ALL NEW MATERIALS ARE TO BE INDELIBLY AND DISCRETELY MARKED WITH THE YEAR OF INSTALLATION IN ORDER TO DISTINGUISH THEM FROM THE EXISTING FABRIC.

MACHINERY IS NOT TO BE USED WITHIN 2 METRES OF THE EXTERIOR OF BUILDINGS AND STRUCTURES.

ALL WORKS ARE TO BE UNDERTAKEN BY SUITABLY QUALIFIED AND EXPERIENCED TRADESPEOPLE.

VEGETATION ENCROACHING WITHIN THE BUILDINGS, INCLUDING ROOFS AND FLOORS, IS TO BE REMOVED.

BEFORE PRUNING OR LOPPING ANY TREES OR SIGNIFICANT VEGETATION, OBTAIN ADVICE FROM A HERITAGE LANDSCAPE CONSULTANT AND ARBORIST.

EXISTING UNPAINTED ITEMS ARE TO REMAIN UNPAINTED.

ARCHAEOLOGY NOTES

AN ARCHAEOLOGIST APPOINTED BY THE PRINCIPAL IS TO SUPERVISE ALL EXCAVATION WORKS, WORKS TO FLOORS AND OTHER AREAS WHERE FINDS ARE LIKELY.

MANY MOVEABLE ITEMS HAVE BEEN FOUND IN THE SOIL AROUND BUILDINGS AND DIRT FLOORS WITHIN THE BUILDINGS. IT IS LIKELY THAT MANY REMAIN. WHERE DIRT FLOORS AND SOIL ARE NOTED TO BE REGRADED, WORKS ARE TO BE CARRIED OUT WITH SUPERVISION OF AN ARCHAEOLOGIST. ANY OBJECTS EXPOSED ARE TO HAVE THEIR LOCATIONS AND DETAILS RECORDED AND RETAINED FOR INCLUSION IN THE MOVEABLE COLLECTION STORED OFF-SITE.

METALWORK NOTES

ALL IRONMONGERY IS TO BE RETAINED IN PLACE.

CHECK ALL ROOF SHEETS AND RE-SECURE AS NECESSARY. FIXINGS TO MATCH EXISTING.

SALVAGE FALLEN SHEETS AND REVIEW CONDITION FOR REINSTATEMENT.

ANY NEW SHEETS OF ROOF AND WALL CLADDING ARE TO BE SUPPLIED IN SHORT SHEET LENGTHS AND MATCH THE EXISTING PROFILE AND FINISH

TREAT RUST WITH 'PENETROL' OR SIMILAR.

BRICKWORK NOTES

LOOSE BRICKS ARE TO BE SALVAGED AND REVIEWED FOR RE-USE IN THE WORKS. BRICKS SUITABLE FOR RE-USE ARE TO BE DESALINATED PRIOR TO USE.

REPLACEMENT OF FRETTED BRICKWORK IS TO BE UNDERTAKEN IN ACCORDANCE WITH STRUCTURAL ENGINEER'S ADVICE AND IN CONSULTATION WITH THE ARCHITECT.

WHERE REPOINTING OR REPLACEMENT OF MORTAR IS REQUIRED, NEW MORTAR IS TO MATCH EXISTING. REPAIRS TO CRACKING AND POINTING ARE TO BE IN ACCORDANCE WITH STRUCTURAL ENGINEER'S ADVICE.

PEST MANAGEMENT NOTES

EXISTING PEST CONTROL MEASURES IN PLACE ARE TO BE MAINTAINED UNDISTURBED DURING THE WORKS. IF DISTURBANCE IS UNAVOIDABLE, ALLOW EQUIVALENT TEMPORARY MEASURES FOR THE DURATION.

WHERE EXPOSING THE BASE OF MEMBERS SET INTO THE GROUND, CLEAR OUT ANY TERMITE NESTS AND AFFECTED SOIL, IF FOUND.

ARCHIVAL RECORDING

PRIOR TO ANY DISASSEMBLY OR DEMOLITION WORKS, THE EXISTING ASSEMBLY IS TO BE DOCUMENTED IN ACCORDANCE WITH THE NSW HERITAGE OFFICE GUIDELINES FOR ARCHIVAL RECORDING.

TIMBER NOTES

INSPECT ALL TIMBER MEMBERS FOR DECAY AND DAMAGE. DRILL TEST AREAS IDENTIFIED IN ACCORDANCE WITH STRUCTURAL ENGINEER'S ADVICE.

SPLICE EXTEND MEMBERS WHERE DAMAGE IS PARTIAL IN ACCORDANCE WITH DETAILS.

WHERE TIMBER MEMBERS ARE IN CONTACT WITH GROUND, INJECT WITH PENETRATING PRESERVATIVE.

RE-FIX ANY LOOSE ITEMS. FIXINGS TO MATCH EXISTING.

SALVAGE FALLEN WALL SLABS, TIMBER AND METAL CLADDING. REVIEW CONDITION FOR REINSTATEMENT.

EXPOSED ENDS OF TIMBER MEMBERS ARE TO BE TREATED WITH PENETRATING PRESERVATIVE.

INSTALL NEW POSTS USING DURABILITY CLASS 2 HARDWOOD.

CONCRETE NOTES

RE-PACK UNDER EXISTING CONCRETE SLABS WHERE SUB-GRADE HAS WASHED OUT.

STORMWATER DRAINAGE NOTES

THE EXISTING STORMWATER DRAINAGE LINES ARE TO BE CHECKED TO ENSURE THEY DRAIN FREELY. EXISTING DOWNPIPES TO THE HOUSE AND WEATHERBOARD COTTAGE ARE TO BE CONNECTED BELOW GROUND TO THE EXISTING SYSTEM. THE SYSTEM IS TO BE EXTENDED TO DRAIN TO CRANEBROOK CREEK, WEST OF THE SITE. REFER TO CIVIL/SERVICES ENGINEERING DOCUMENTATION.

ELECTRICAL NOTES

RECONNECT ELECTRICITY TO THE SITE VIA A NEW METERBOARD CONNECTED TO AN EXISTING PRIVATE POLE AND PROVIDE GPO'S AT THE METERBOARD AS SHOWN ON ELECTRICAL CONSULTANT'S DOCUMENTATION.

HYDRAULIC SERVICES

RECONNECT THE EXISTING TOILET TO THE EXISTING WATER SUPPLY AS PER HYDRAULIC CONSULTANT'S DRAWINGS. CAP OFF HYDRAULIC SERVICES IN THE EXISTING LAUNDRY BUILDING TO FACILITATE THIS BUILDING'S DEMOLITION.

SEWERAGE NOTES

INSPECT SEPTIC TANK AND UNDERTAKE WORKS NECESSARY TO MAKE FUNCTIONAL AND CERTIFY. REFER SERVICES CONSULTANT'S DRAWINGS.



SUITE C2 09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
WWW.JPAD.COM.AU
Jennifer Preston (Nominated Architect)
Registration Number 6596

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

COVER SHEET AND NOTES

SCALE

N.T.S.

SHEET SIZE

DESIGNED JP MS ES

JOB No. DRAWING No. REVISION

2110 WD001 D

HERITAGE ACT 1977
APPLICATION UNDER SECTION 60

Application No: 1638

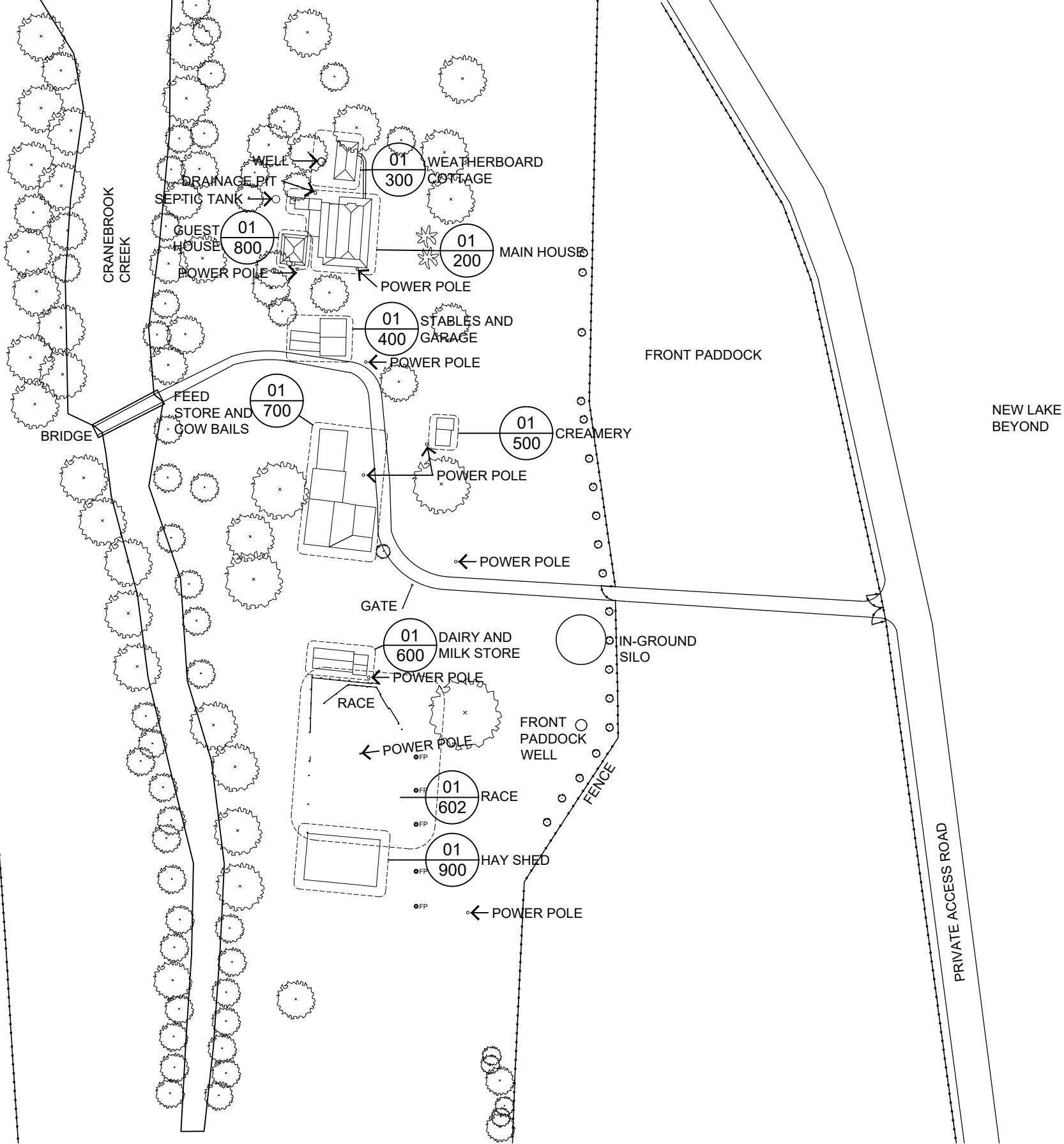
Approved by the Heritage Council of NSW
Delegated Authority

On: 17/11/2022

These plans should be read in conjunction with
the decision notice



(for) Delegate
Heritage Council



NOTES:

FRONT PADDOCK WELL:
NUMBER AND RECORD THE LOCATION OF THE BRICKS IN THE TOP 6 COURSES OF THE WELL.
WHEN FIRST 6 COURSES HAVE BEEN DISMANTLED, INVESTIGATE THE METAL STRAPPING AND TREAT WITH 'PENETROL' OR SIMILAR AND RESET.
POISON TREE ROOT AND REMOVE.
DRY LAY THE BRICKS IN THE SAME LOCATIONS AS PREVIOUSLY. FOR THE LAST 3 COURSES FILL PERPENDS WITH SUITABLE SOFT LIME MORTAR AND FLAUNCH AT THE BACK.
REGRADE THE GROUND SURFACE AROUND THE WELL TO PREVENT OVERLAND FLOW ENTERING THE WELL.
SPRAY FIRST 1.2 m (OR AS FAR AS PRACTICAL REACH ALLOWS) WITH LIME WATER TO REDUCE SURFACE FRETTING. ALLOW FOR ARCHAEOLOGICAL SUPERVISION TO ALL WORKS TO THE WELL.

FENCES AND GATES:
PROVIDE NEW HARDWOOD TIMBER POSTS TO EXISTING HOLES. ALLOW FOR 5 POSTS TO EXTEND 1450 mm ABOVE FINISHED GROUND LEVEL.
FOR ALL EXISTING AND NEW POSTS SET INTO THE GROUND, POLE INFUSE WITH PENETRATIVE PRESERVATIVE.
CHECK OVER EXISTING FENCES AND GATES. RE-FIX LOOSE RAILS. TREAT RUST ON HINGES AND HARDWARE.
FOR ALL EXISTING AND NEW TIMBER POSTS SET INTO GROUND, POLE INFUSE WITH PENETRATING PRESERVATIVE.
RECONSTRUCT FRONT GATE FROM PIECES STORED ON SITE. REPAIR TIMBERS AS NEEDED. ONCE COMPLETE, STORE SECURELY ON SITE FOR FUTURE REINSTATEMENT. REFER TO WD302 FOR IMAGES.

LEGEND:
●FP ESTIMATED POSITION OF EXISTING HOLE OF FORMER FENCE POST. INFILL WITH NEW POST PER "FENCES AND GATES" ABOVE.

01 PLAN - EXISTING
-- SITE
1:1000

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E	13/10/22	SECTION 60 APPLICATION	MS

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



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PROJECT ADDRESS	
14-278 OLD CASTLEREAGH ROAD, CASTLEREAGH, NSW 2749	

DRAWING TITLE		
SITE PLAN EXISTING		
SCALE	SHEET SIZE	
1:1000	A3	
DESIGNED	DRAWN	CHECKED
	MB	
JOB No.	DRAWING No.	REVISION
2110	WD100	E

HERITAGE ACT 1977

GENERAL NOTES:

APPLICATION UNDER SECTION 60

BRICKS ARE TO BE TREATED WITH LIME WATER AND

REPAIRS TO BE MADE IN ACCORDANCE WITH THE AGREED

METHODOLOGY.

Application No: 1638

Approved by the Heritage Council of NSW

Delegated Authority

On: 17/11/2022

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Heritage Act

(for) Delegate

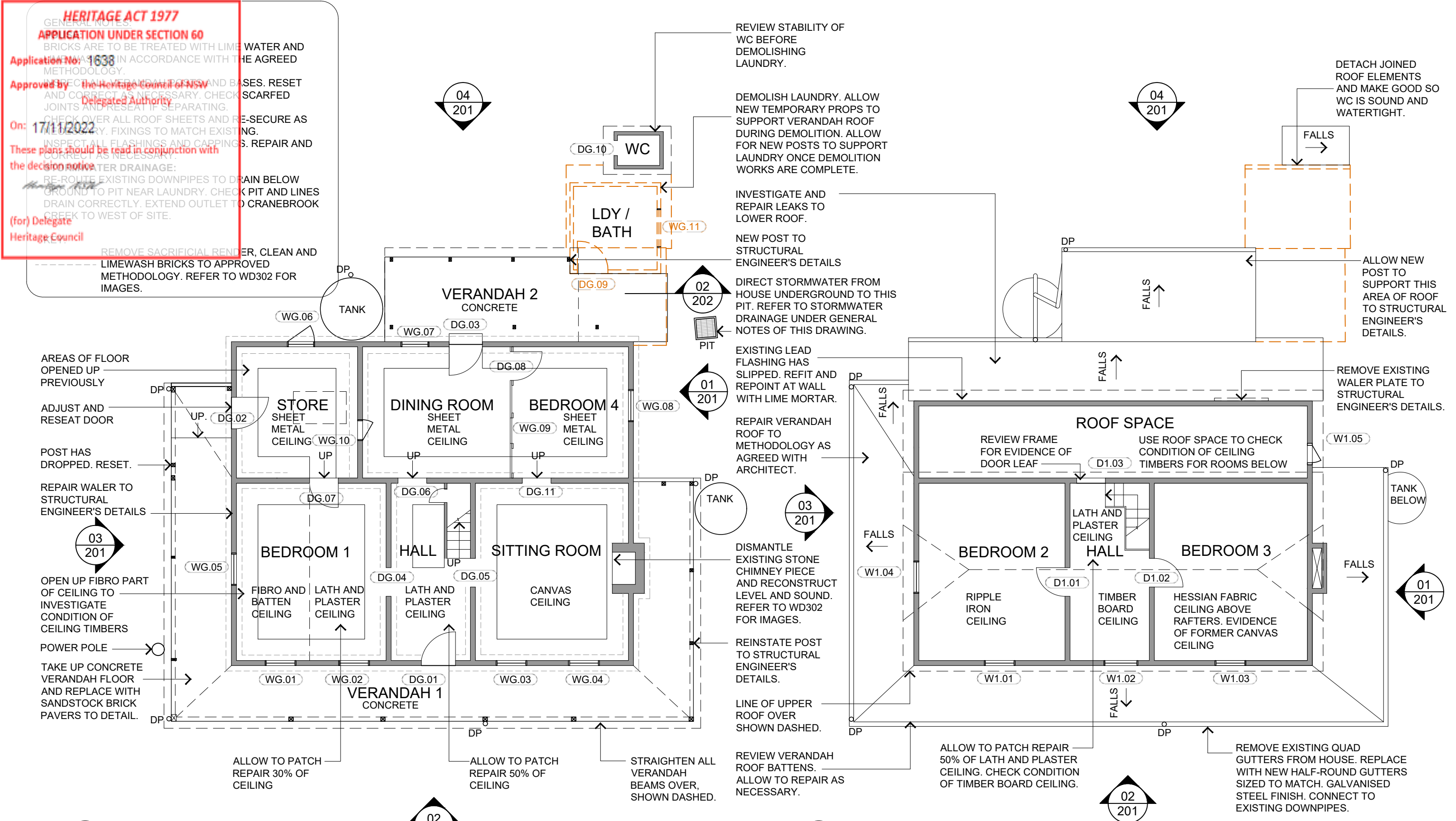
Heritage Council

REMOVE SACRIFICIAL RENDER, CLEAN AND

LIMEWASH BRICKS TO APPROVED

METHODOLOGY. REFER TO WD302 FOR

IMAGES.



01 PLAN - EXISTING
MAIN HOUSE GROUND FLOOR
1:100

02 PLAN - EXISTING
MAIN HOUSE FIRST FLOOR
1:100

REFER TO 05/WD202
FOR ROOF PLAN.

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200MM

300MM ON ORIGINAL

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ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09

22-36 MOUNTAIN STREET

ULTIMO NSW 2007

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Jennifer Preston | Nominated Architect

Registration Number 6596

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DEPARTMENT OF PLANNING, INDUSTRY AND ENVIRONMENT	
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PROJECT ADDRESS	
14-278 OLD CASTLEREAGH ROAD, CASTLEREAGH, NSW 2749	

DRAWING TITLE		
MAIN HOUSE PLANS - EXISTING		
SCALE	SHEET SIZE	
1:100	A3	
DESIGNED	DRAWN	CHECKED
-	MB	ES
JOB No.	DRAWING No.	REVISION
2110	WD200	F

HERITAGE ACT 1977
APPLICATION UNDER SECTION 60

Application No: 1638

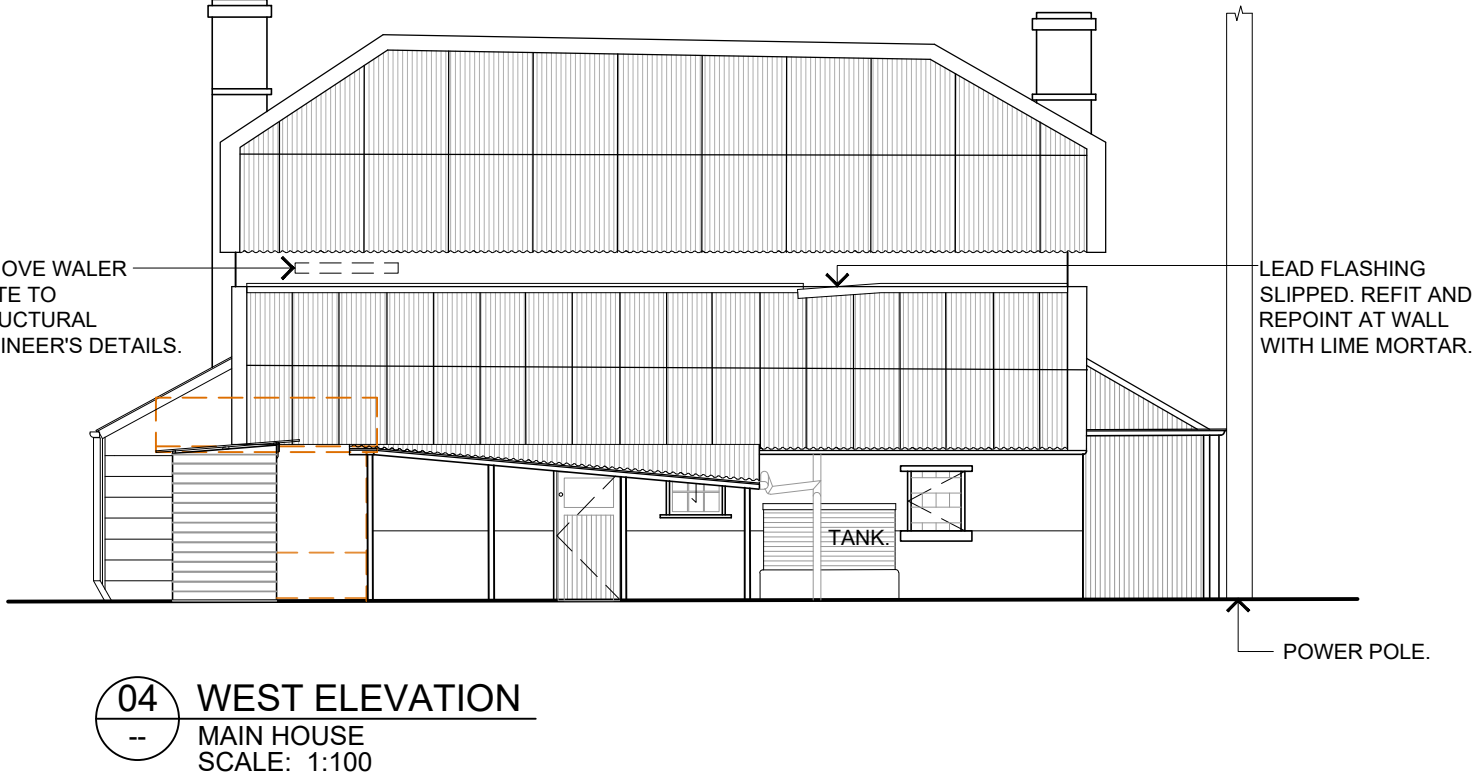
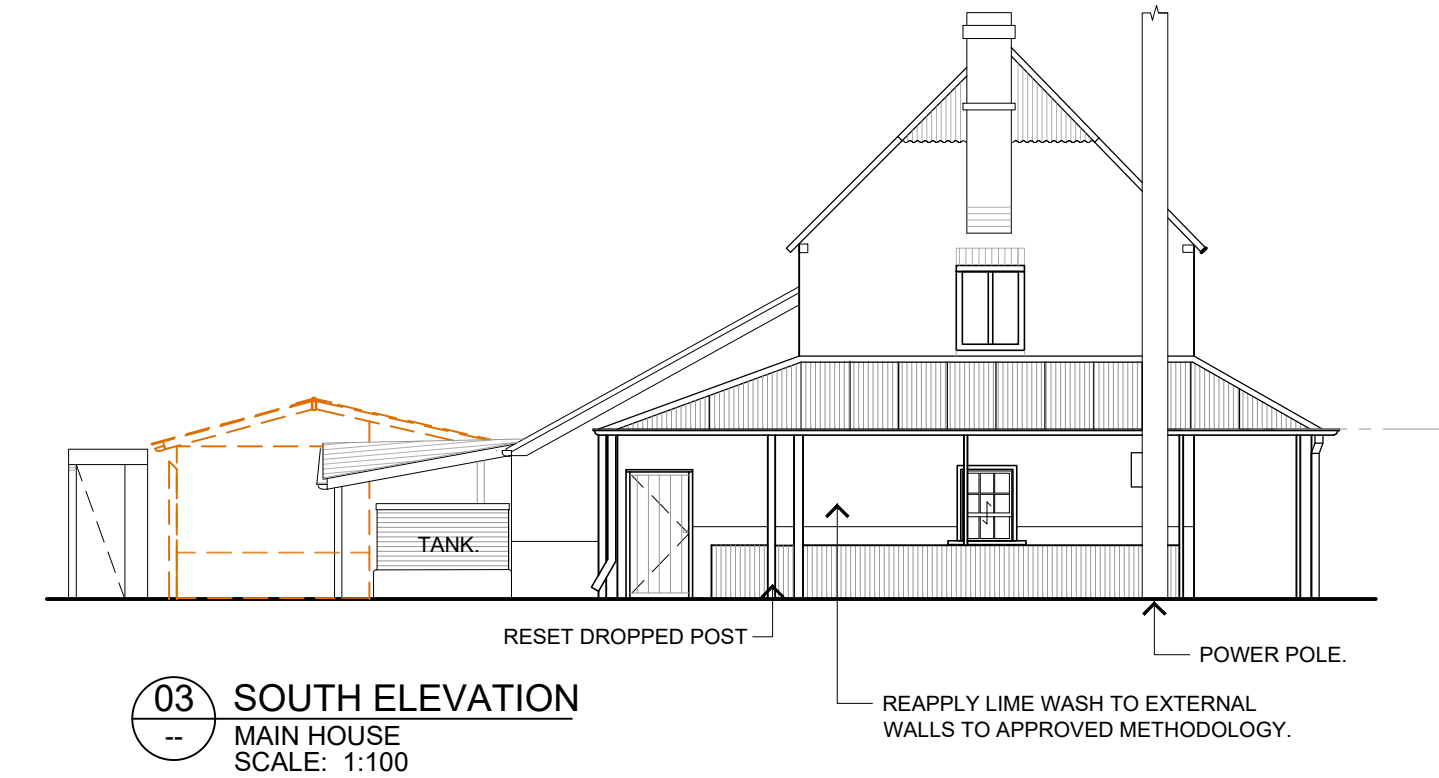
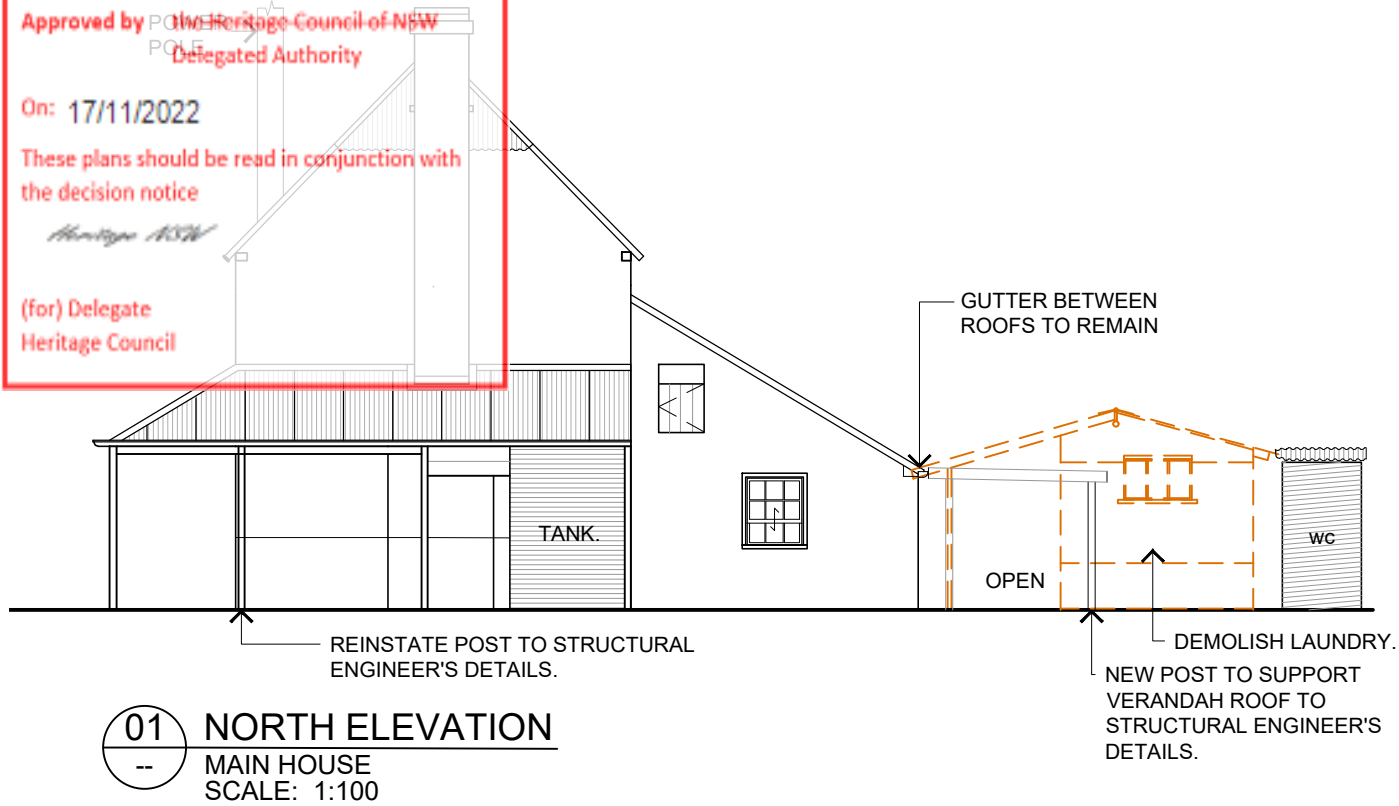
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SCALE	SHEET SIZE	
1:100	A3	
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JOB No.	DRAWING No.	REVISION
2110	WD201	F

HERITAGE ACT 1977
APPLICATION UNDER SECTION 60

Application No: 1638

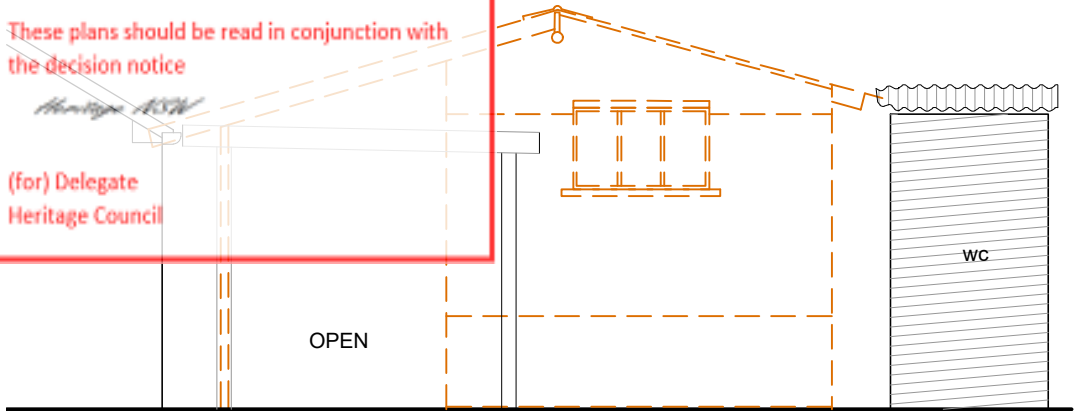
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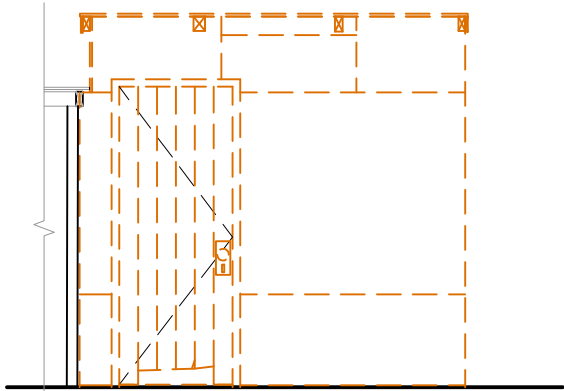
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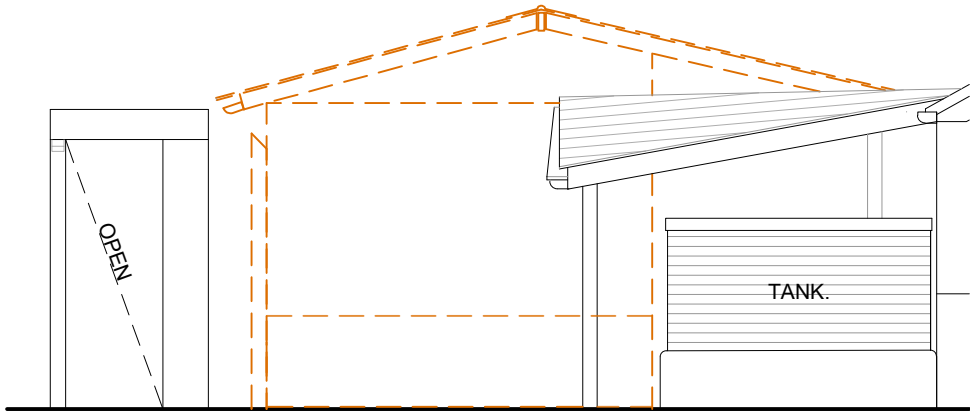
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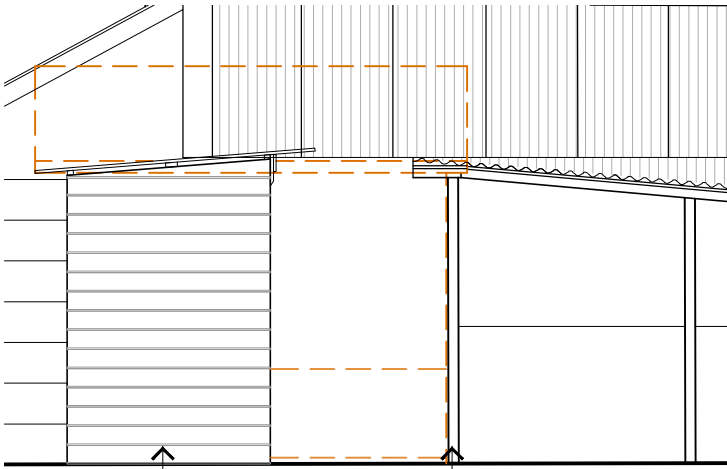
01 NORTH ELEVATION
LAUNDRY AND WC
SCALE: 1:50



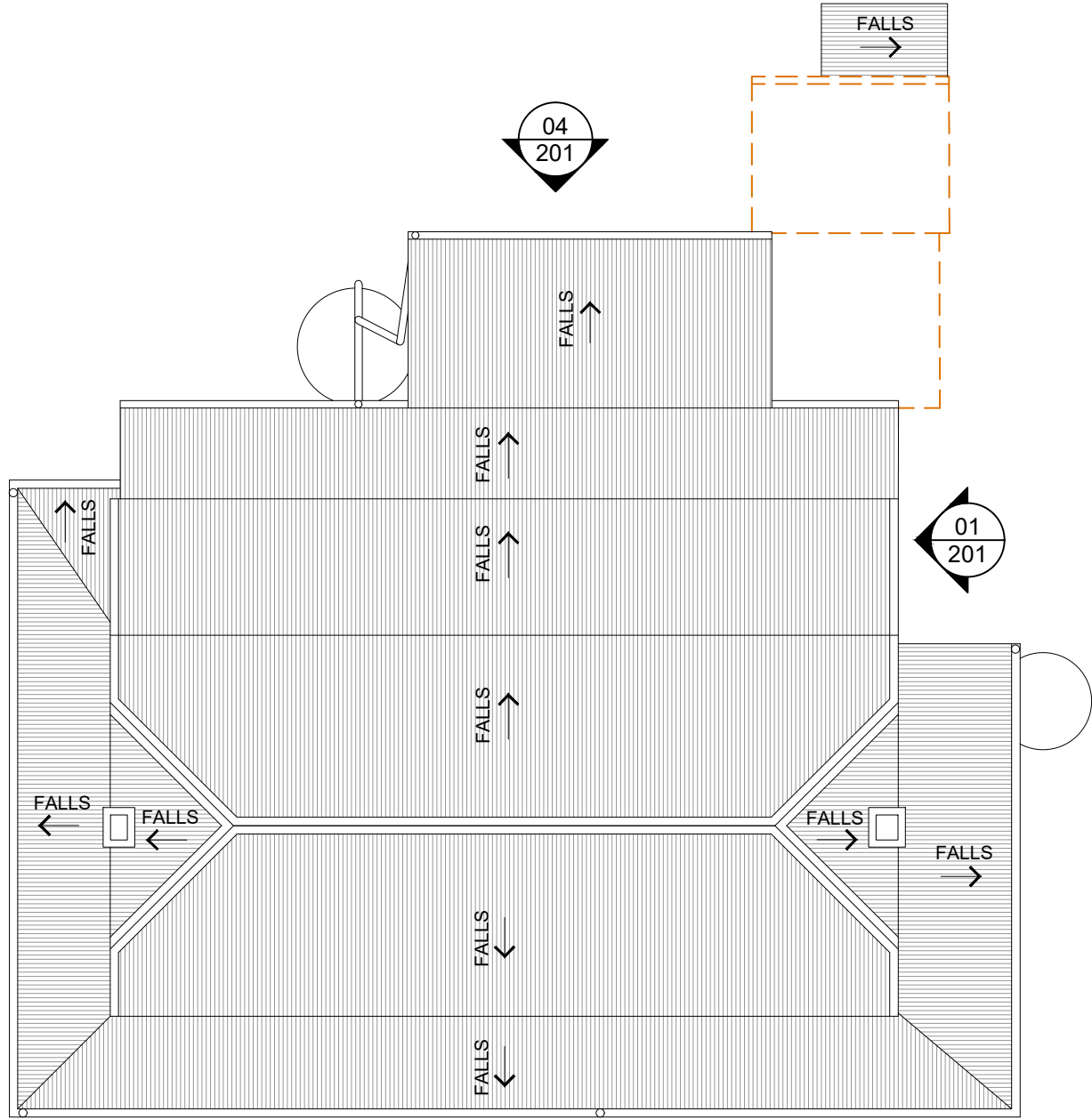
02 EAST ELEVATION
LAUNDRY
SCALE: 1:50



03 SOUTH ELEVATION
LAUNDRY AND WC
SCALE: 1:50



04 WEST ELEVATION
LAUNDRY
SCALE: 1:50



05 ROOF PLAN
HOUSE
SCALE: 1:100

NOTES:
THE LAUNDRY BUILDING IS TO BE DEMOLISHED. CHECK STABILITY OF WC BEFORE COMMENCING. ALLOW NEW POSTS TO EAST SIDE OF ROOF - PROP TEMPORARILY DURING WORKS. ALLOW TO DISCONNECT AND CAP EXISTING SERVICES TO LAUNDRY. RECORD LOCATIONS FOR POSSIBLE FUTURE USE.

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PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
MAIN HOUSE ROOF PLAN AND
LAUNDRY ELEVATIONS - EXISTING

SCALE
1:50

SHEET SIZE
A3

DESIGNED
MS

DRAWN
ES

CHECKED
ES

JOB No.
2110

DRAWING No.
WD202

REVISION
F

A3

0 10 20 30 40 50 60 70 80 90 100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
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200MM

300MM ON ORIGINAL

HERITAGE ACT 1977
APPLICATION UNDER SECTION 60

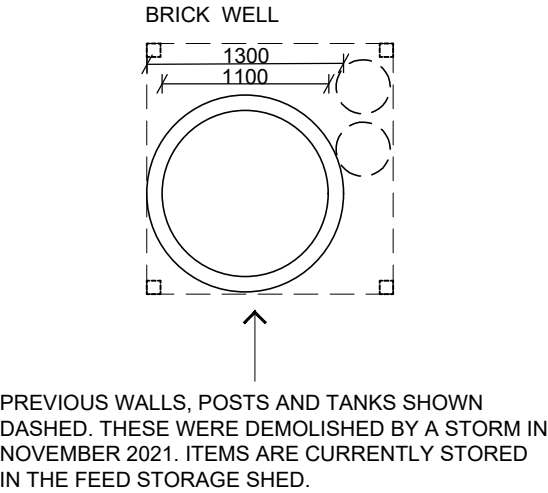
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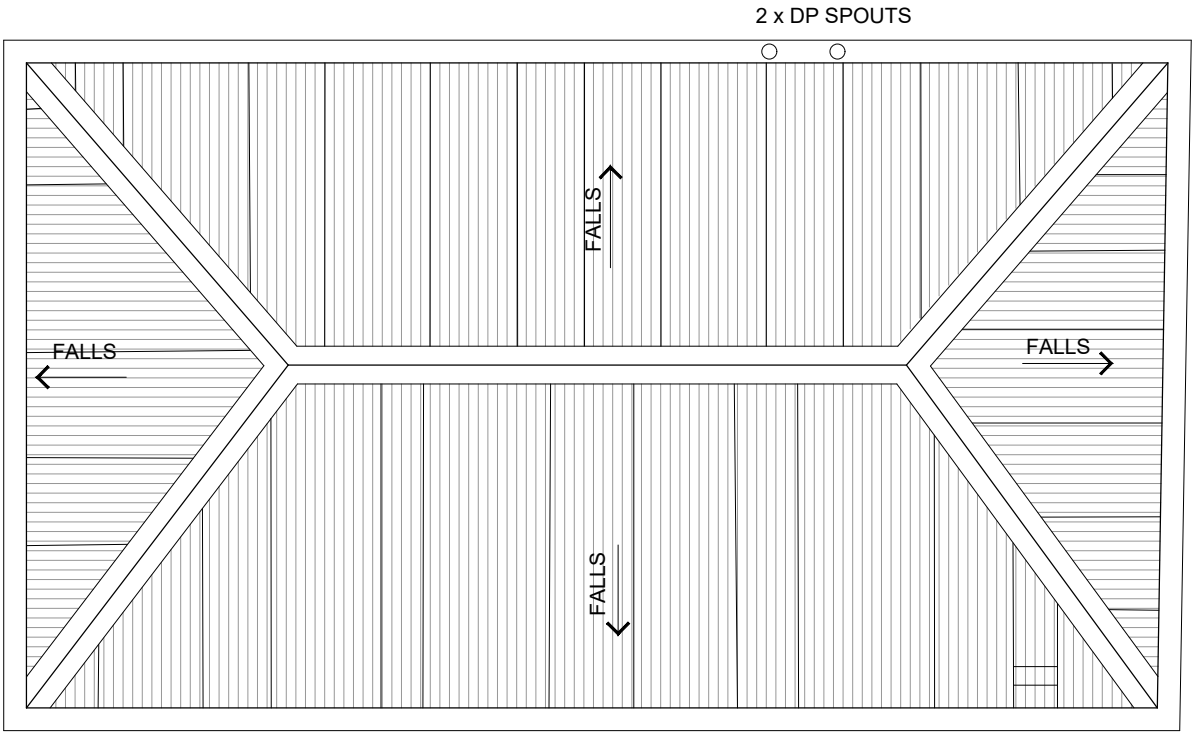
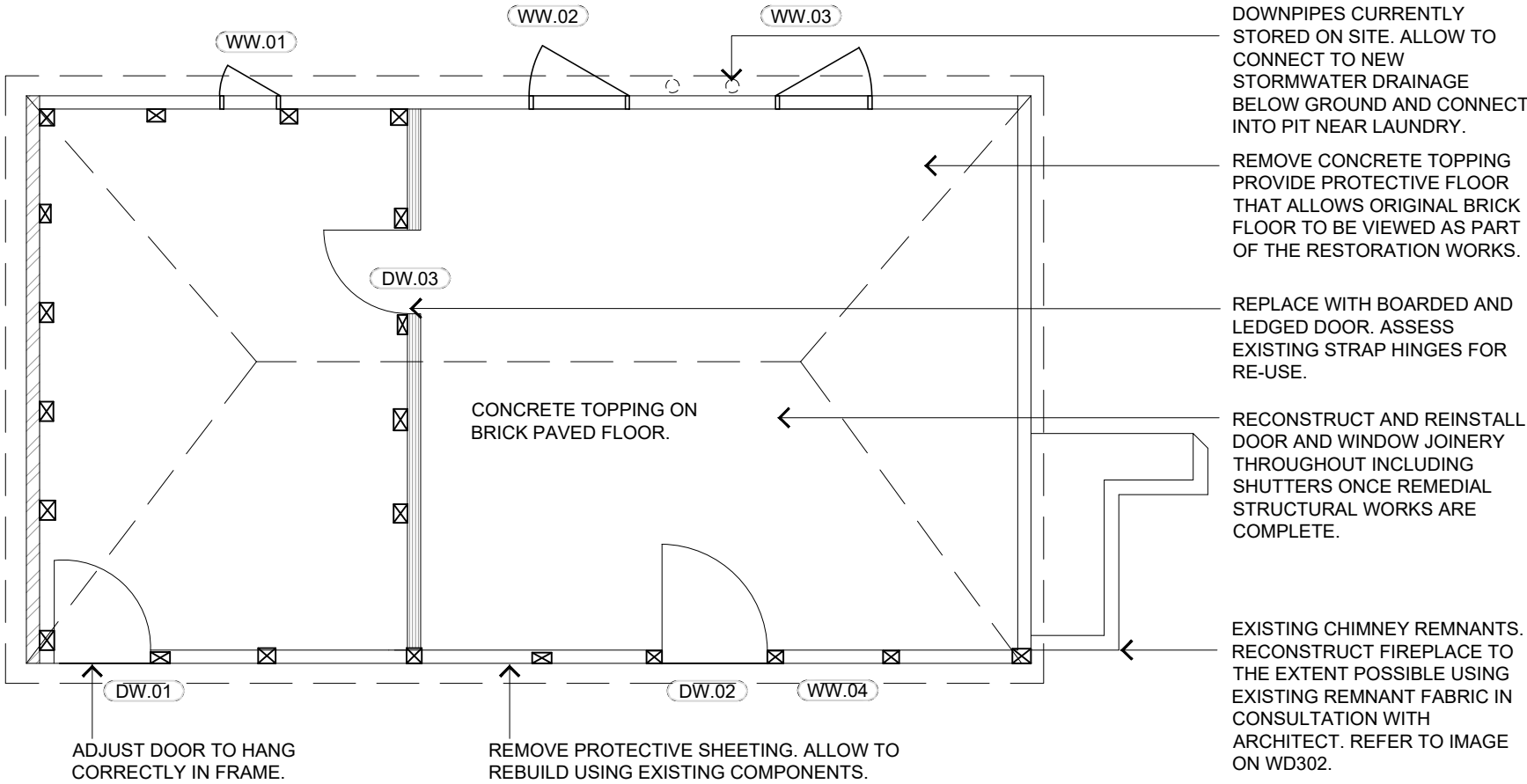


NOTES:
GENERAL:
RE-GRADE GROUND LEVELS TO FALL AWAY FROM BUILDING.

STORMWATER DRAINAGE:
RE-ROUTE EXISTING DOWNPIPES TO DRAIN BELOW GROUND TO PIT
NEAR LAUNDRY. CHECK PIT AND LINES DRAIN CORRECTLY. EXTEND
OUTLET TO CRANEBROOK CREEK TO WEST OF SITE.

WORKS TO WELL:
NUMBER AND RECORD THE LOCATION OF THE BRICKS IN THE TOP 6
COURSES OF THE WELL.
DISMANTLE TOP 6 COURSES OF BRICKWORK, INVESTIGATE THE REASON
FOR LIFTING IN THE COURSE BEDDING AT THE 6TH COURSE.
ADDRESS CAUSE AND RE-LAY. DRY LAY THE BRICKS IN THE SAME
LOCATIONS AS PREVIOUSLY. FOR THE LAST 3 COURSES FILL PERPENDS
WITH SUITABLE SOFT LIME MORTAR AND FLAUNCH AT BACK.
RE-GRADE GROUND SURFACE AROUND WELL TO PREVENT OVERLAND
FLOW ENTERING THE WELL.
PROVIDE NEW COVER TO DETAIL. SEE WD100.
SPRAY FIRST 1.2m (OR AS FAR AS PRACTICAL REACH ALLOWS) WITH
LIME MORTAR TO REDUCE SURFACE FRETTING.
ALLOW FOR ARCHEOLOGICAL SUPERVISION TO ALL WORKS TO WELL.

INTERNAL:
LIFT WIRE TIES TO ABOVE CEILING LEVEL.



01 PLAN - EXISTING
WEATHERBOARD COTTAGE
1:50

02 ROOF PLAN - EXISTING
WEATHERBOARD COTTAGE
1:50

GENERAL NOTES

All building work to comply with relevant Australian Standards.
No dimensions to be scaled or scanned from drawing.
All dimensions to be checked on site prior to manufacture and
construction. Figured dimensions to be used at all times.
Contractor is responsible for correct setting out with particular
reference to boundaries, building lines, etc. Contractor to verify all
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discrepancies or omissions to be reported to architect immediately.
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Pty Ltd.

REVISION			
A	15/02/22	FOR INFORMATION	0
B	02/06/22	50% ISSUE	AK
C	13/07/22	ISSUE FOR REVIEW	ES
E	24/08/22	CONSULTANT COORDINATION	MS
F	13/10/22	SECTION 60 APPLICATION	MS

JPA&D

ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

WEATHERBOARD COTTAGE
PLANS - EXISTING

SCALE

1:50

SHEET SIZE

A3

DESIGNED

-

DRAWN

MB

CHECKED

ES

JOB No.

2110

DRAWING No.

WD300

REVISION

F

HERITAGE ACT 1977
APPLICATION UNDER SECTION 60

Application No: 1638

Approved by the Heritage Council of NSW
Delegated Authority

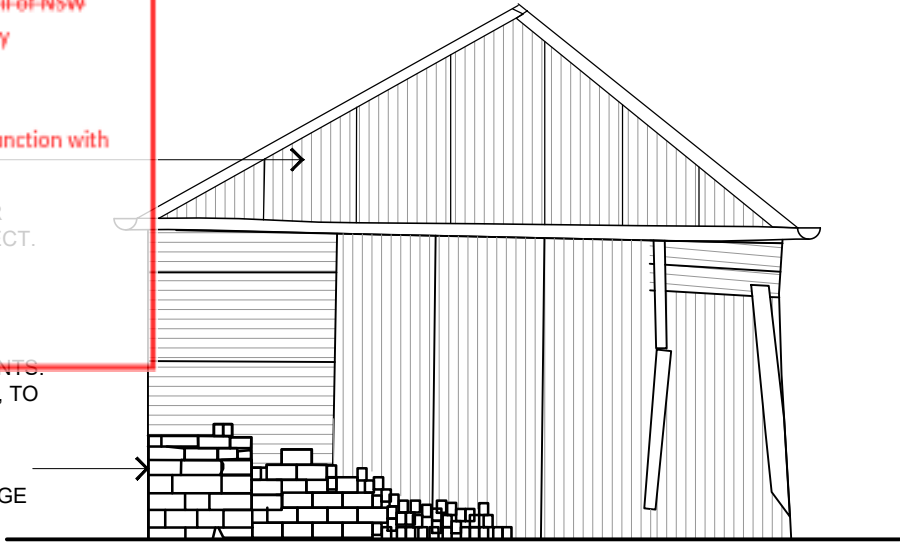
On: 17/11/2022

These plans should be read in conjunction with the decision notice

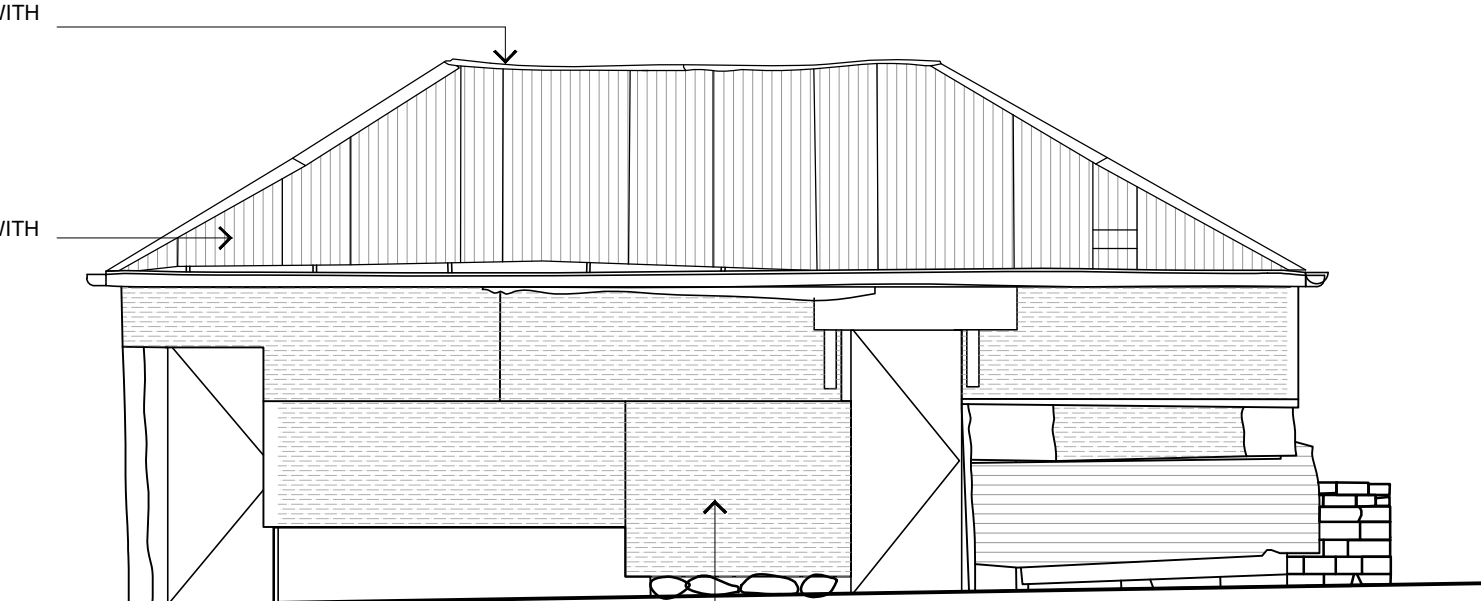
(for) Delegate
Heritage Council

REVIEW EXISTING ROOF
TIMBERS, IF NECESSARY
REPLACE TO MATCH AFTER
DISCUSSION WITH ARCHITECT.

EXISTING CHIMNEY REMNANTS.
RECONSTRUCT FIREPLACE, TO
EXTENT POSSIBLE, USING
EXISTING FABRIC IN
CONSULTATION WITH
ARCHITECT. REFER TO IMAGE
ON WD302.



01 NORTH ELEVATION
-- WEATHERBOARD COTTAGE
SCALE: 1:50

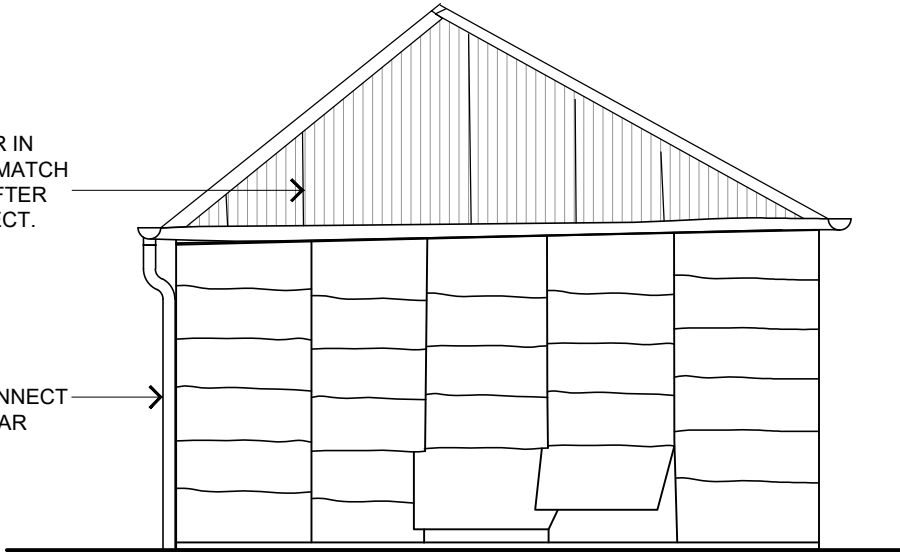


02 EAST ELEVATION
-- WEATHERBOARD COTTAGE
SCALE: 1:50

REMOVE POLYCARBONATE SHEET AND PLANT
GROWTH BEHIND. INVESTIGATE MATERIAL BELOW
SHEETING AND DEVELOP REMEDIATION STRATEGY
ACCORDINGLY. REPAIR TIMBER SLABS AND
WEATHERBOARDS OF WALL CLADDING. WHERE
SLABS AND BOARDS CANNOT BE REUSED, REPLACE
WITH NEW TO MATCH EXISTING.

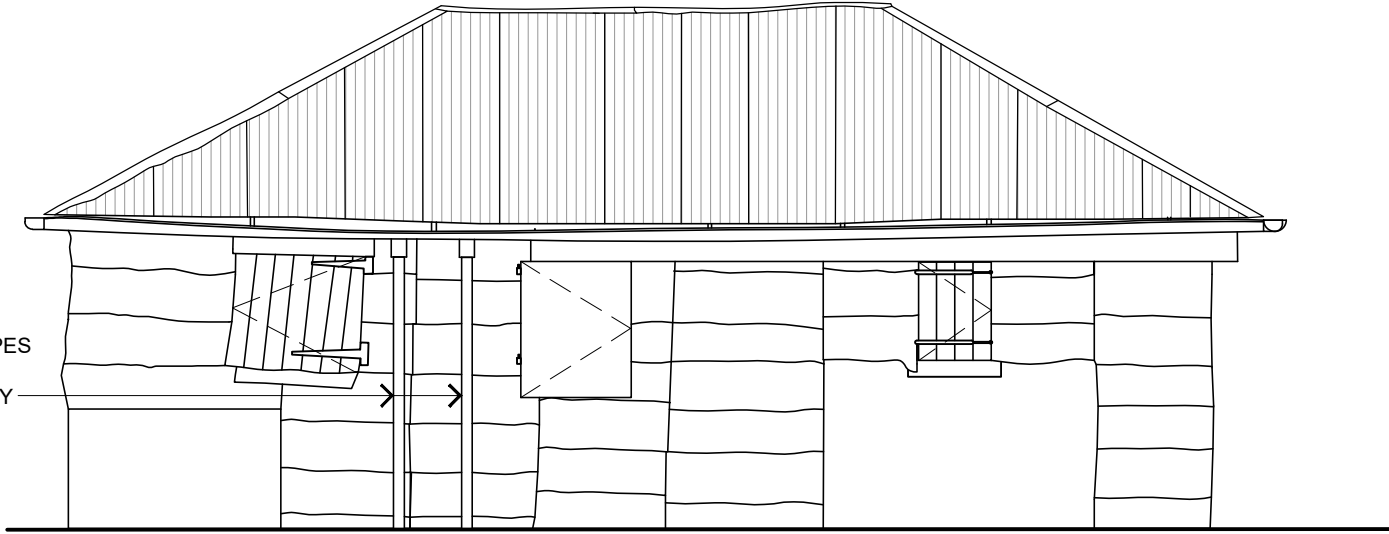
IDENTIFY DAMAGED TIMBER IN
CEILING AND REPLACE TO MATCH
EXISTING IF NECESSARY AFTER
DISCUSSION WITH ARCHITECT.

REINSTATE DOWNPIPE. CONNECT
BELOW GROUND TO PIT NEAR
LAUNDRY.



03 SOUTH ELEVATION
-- WEATHERBOARD COTTAGE
SCALE: 1:50

REINSTATE EXISTING DOWNPIPES
ALLOW TO CONNECT BELOW
GROUND TO PIT NEAR LAUNDRY



04 WEST ELEVATION
-- WEATHERBOARD COTTAGE
SCALE: 1:50

GENERAL NOTES

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REVISION			
A	15/02/22	FOR INFORMATION	AK
B	02/06/22	50% ISSUE	ES
C	13/07/22	ISSUE FOR REVIEW	MS
D	04/08/22	NOTES UPDATED	MS
E	24/08/22	CONSULTANT COORDINATION	MS
F	13/10/22	SECTION 60 APPLICATION	MS



SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT
DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
WEATHERBOARD COTTAGE
ELEVATIONS - EXISTING

SCALE
1:50

SHEET SIZE
A3

DESIGNED
MS

DRAWN
ES

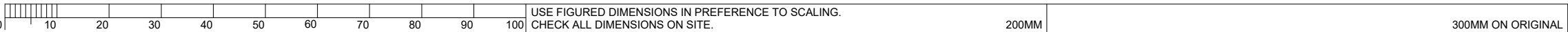
CHECKED
ES

JOB No.
2110

DRAWING No.
WD301

REVISION
F

A3



HERITAGE ACT 1977

APPLICATION UNDER SECTION 60

Application No: 1638

Approved by the Heritage Council of NSW
Delegated Authority

On: 17/11/2022

These plans should be read in conjunction with
the decision notice

Heritage NSW

(for) Delegate
Heritage Council

01

--

HISTORIC IMAGE

WEATHERBOARD COTTAGE
NORTHEAST CORNER SHOWING CHIMNEY c.1950
IMAGE COURTESY OF FAMILY.

02

--

HISTORIC IMAGE

FRONT GATE
FORMER LOCATION AT FRONT GARDEN, 1986
IMAGE COURTESY OF PENRITH CITY LIBRARY

05

--

OVERVIEW

CHIMNEY PIECE TO SITTING ROOM, 2019
NORTHERN WALL

06

--

DETAIL IMAGES

OPENING JOINTS OF CHIMNEY PIECE, 2019
NORTHERN WALL

07

--

DETAIL IMAGES

SACRIFICIAL RENDER
EXTERNAL AND INTERNAL

03

--

HISTORIC IMAGE

FRONT GATE
FORMER LOCATION AT FRONT GARDEN, c.1900
IMAGE COURTESY OF PENRITH CITY LIBRARY

04

--

STORED ELEMENTS OF GATE

FRONT GATE
CURRENTLY IN GUESTHOUSE, 2022

GENERAL NOTES

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REVISION

A	13/07/22	ISSUE FOR REVIEW	ES
B	01/08/22	FINAL DRAFT FOR REVIEW	ES
C	24/08/22	CONSULTANT COORDINATION	MS
D	13/10/22	SECTION 60 APPLICATION	MS

0

10

20

30

40

50

60

70

80

90

100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL

JPA&D

ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09

22-36 MOUNTAIN STREET

ULTIMO NSW 2007

TEL: (02) 9211 2212

WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect

Registration Number 6596

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

REFERENCE IMAGES - GATE,
CHIMNEYS AND RENDER

SCALE

NTS

SHEET SIZE

A3

DESIGNED

-

DRAWN

ES

CHECKED

ES

JOB No.

2110

DRAWING No.

WD302

REVISION

D

A3

HERITAGE ACT 1977

APPLICATION UNDER SECTION 60

Application No: 1638

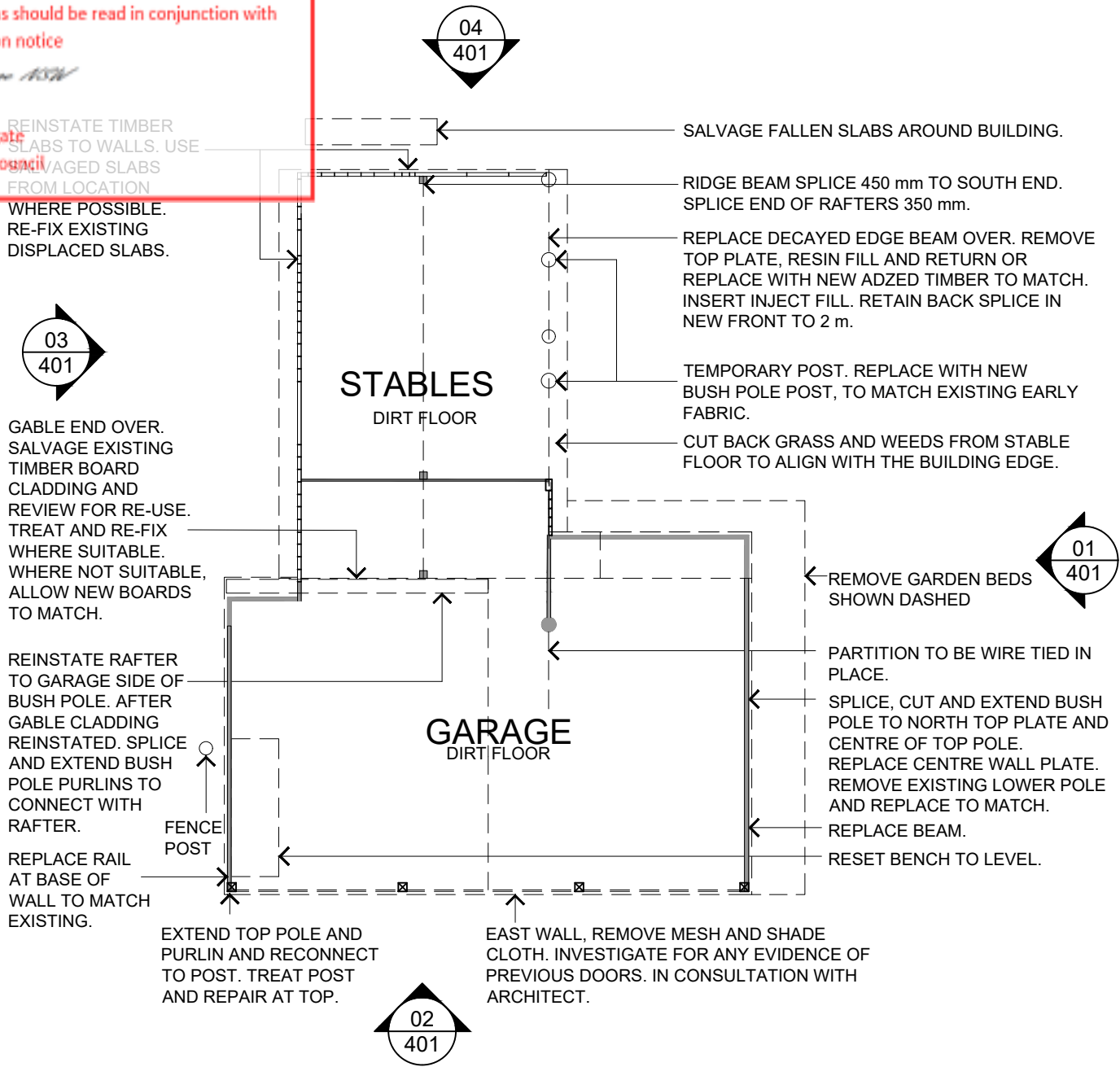
Approved by the Heritage Council of NSW
Delegated Authority

On: 17/11/2022

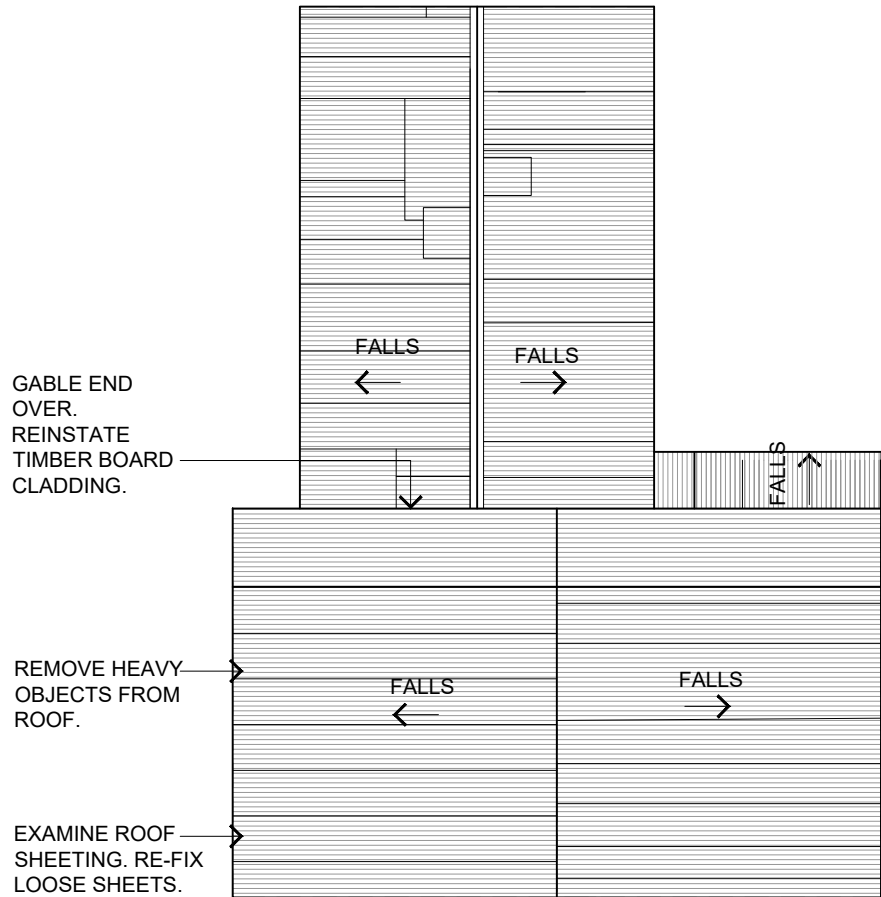
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Heritage NSW

(for) Delegate
Heritage Council



01 PLAN - EXISTING
STABLES AND GARAGE
1:100



02 ROOF PLAN - EXISTING
STABLES AND GARAGE
1:100

NOTES:
GENERAL:
SPLICE OR MAKE GOOD END GRAIN TO VERTICAL POSTS. THEN LEAD CAP EXTERNALLY TO STOP WATER PENETRATION. REPLACE RAIL AT BASE OF SOUTH WALL. CLEAN OUT WHITE ANT DIRT. ADDRESS GROUND LEVELS TO WEST. ADJUST SOIL LEVELS SO THAT THERE IS A POSITIVE FALL AWAY FROM THE BUILDING ON ALL LEVELS. POLE DIFFUSERS TO ALL TIMBER POLES.

ROOF:
SPLICE AND EXTEND GARAGE RIDGE BEAM. ALLOW 1.2 m LENGTH. PLUG RAFTERS AS NEED TO RETAIN RAFTERS. SOLDER HOLES IN ROOF SHEETING. PATCH 6 LARGER HOLES. SPLICE AND EXTEND 5 PURLINS TO EAST END. CLEAN RAFTERS AND INSPECT TO DETERMINE INTEGRITY. REPLACE DAMAGED ROOF SHEETS WITH SALVAGED MATERIAL. TREAT EXISTING ROOF SHEETING WITH 'PENETROL'.

GENERAL NOTES
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F	13/10/22	SECTION 60 APPLICATION	MS

JPA&D

ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09

22-36 MOUNTAIN STREET

ULTIMO NSW 2007

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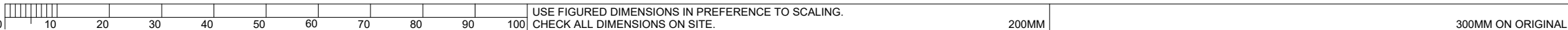
Jennifer Preston | Nominated Architect

Registration Number 6596

CLIENT	
DEPARTMENT OF PLANNING, INDUSTRY AND ENVIRONMENT	
PROJECT TITLE	
HADLEY PARK STAGE 1	
PROJECT ADDRESS	
14-278 OLD CASTLEREAGH ROAD, CASTLEREAGH, NSW 2749	

DRAWING TITLE			
STABLES AND GARAGE PLAN - EXISTING			
SCALE		SHEET SIZE	
1:100		A3	
DESIGNED	DRAWN	CHECKED	
-	MB	JP	
JOB No.	DRAWING No.	REVISION	
2110	WD400	F	

A3



HERITAGE ACT 1977

APPLICATION UNDER SECTION 60

Application No: 1638

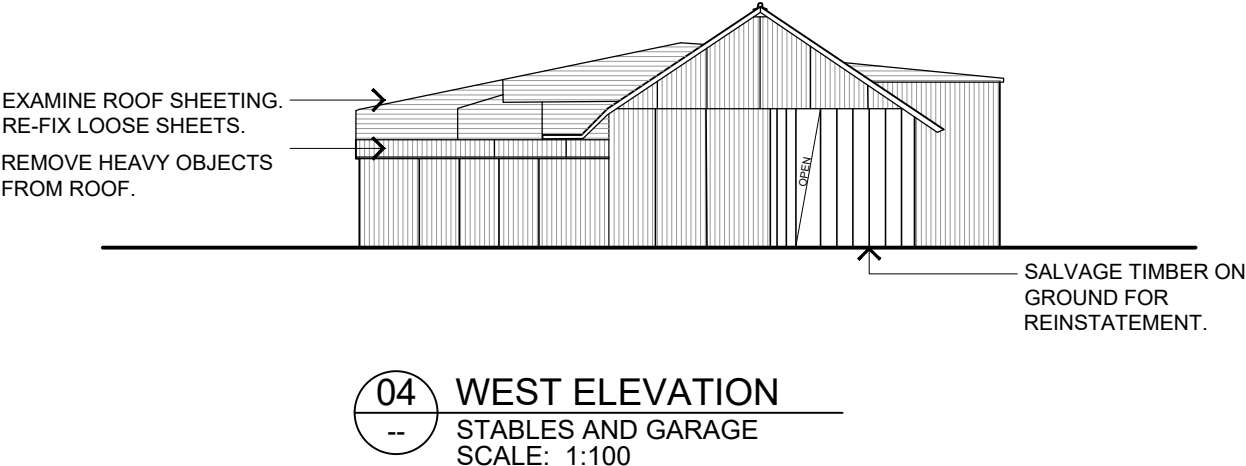
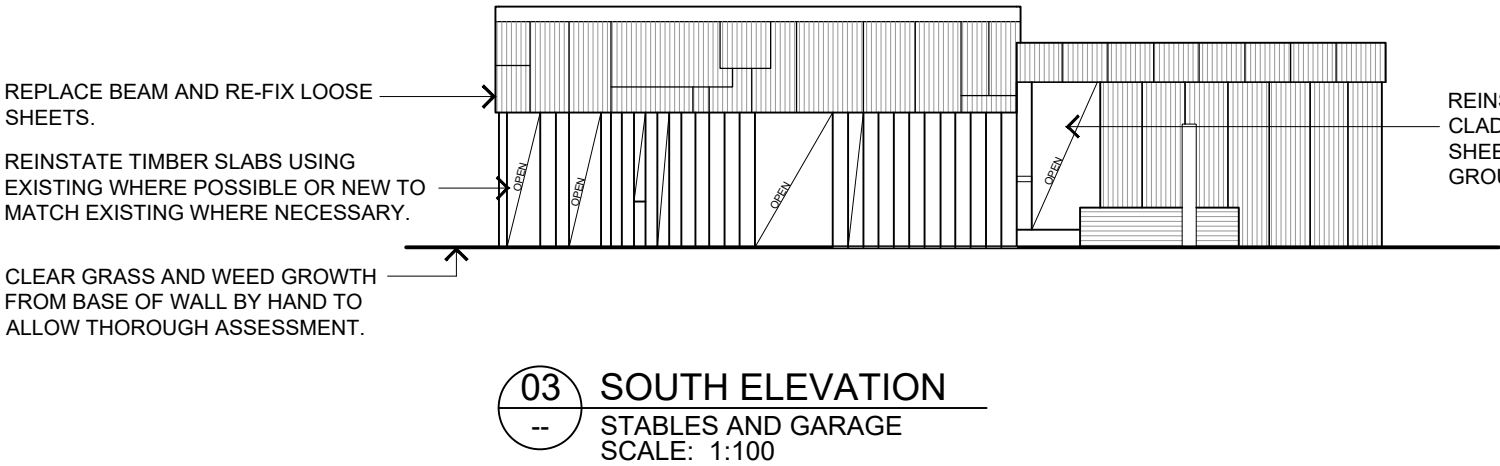
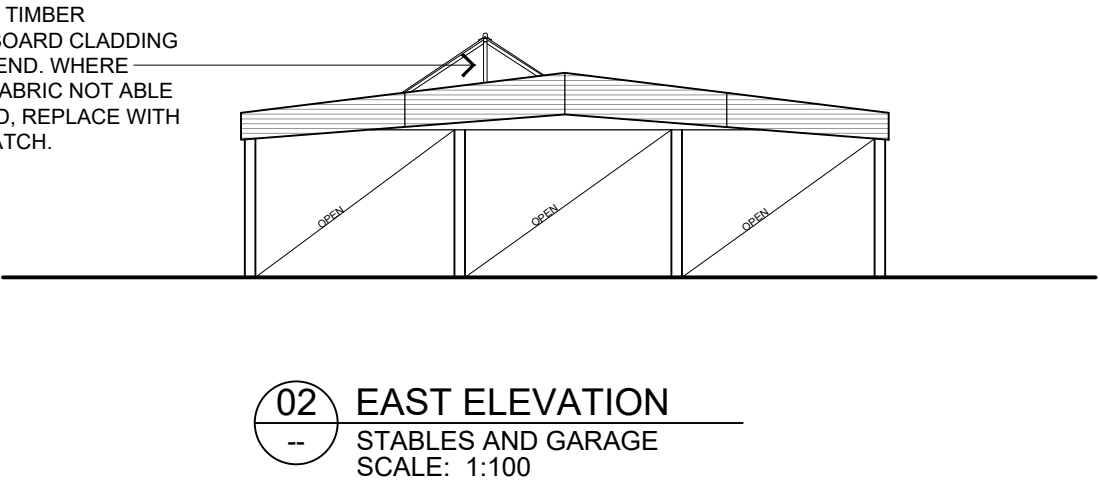
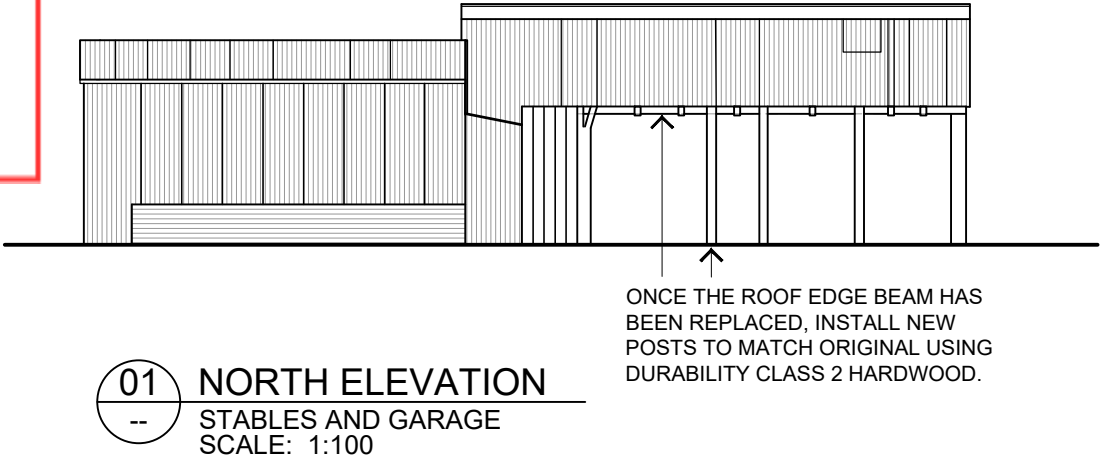
Approved by the Heritage Council of NSW
Delegated Authority

On: 17/11/2022

These plans should be read in conjunction with
the decision notice



(for) Delegate
Heritage Council



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E	13/10/22	SECTION 60 APPLICATION	MS



ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09

22-36 MOUNTAIN STREET

ULTIMO NSW 2007

TEL: (02) 9211 2212

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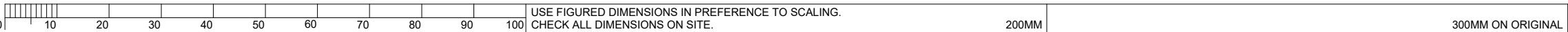
Jennifer Preston | Nominated Architect

Registration Number 6596

CLIENT		
DEPARTMENT OF PLANNING, INDUSTRY AND ENVIRONMENT		
PROJECT TITLE		
HADLEY PARK STAGE 1		
PROJECT ADDRESS		
14-278 OLD CASTLEREAGH ROAD, CASTLEREAGH, NSW 2749		

DRAWING TITLE		
STABLES AND GARAGE ELEVATIONS - EXISTING		
SCALE	SHEET SIZE	
1:100	A3	
DESIGNED	DRAWN	CHECKED
MS	ES	
JOB No.	DRAWING No.	REVISION
2110	WD401	E

A3



(for) Delegate
Heritage Council

HERITAGE ACT 1977
APPLICATION UNDER SECTION 60

Application No: 1638

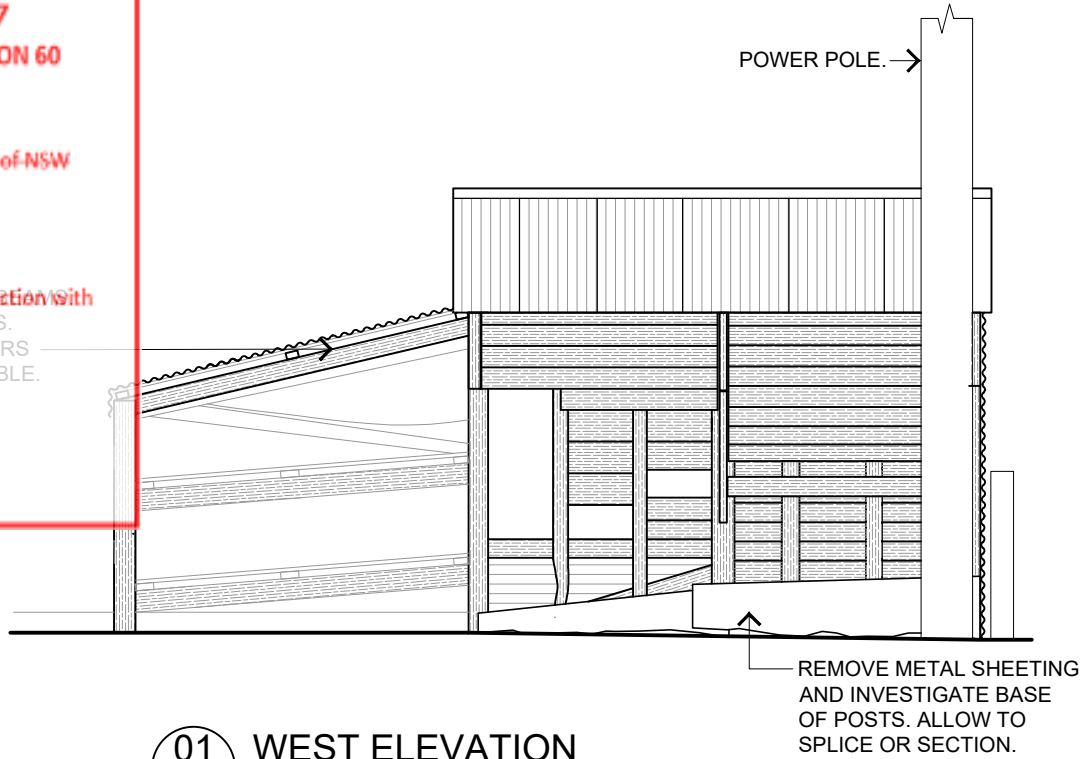
Approved by the Heritage Council of NSW
Delegated Authority

On: 17/11/2022

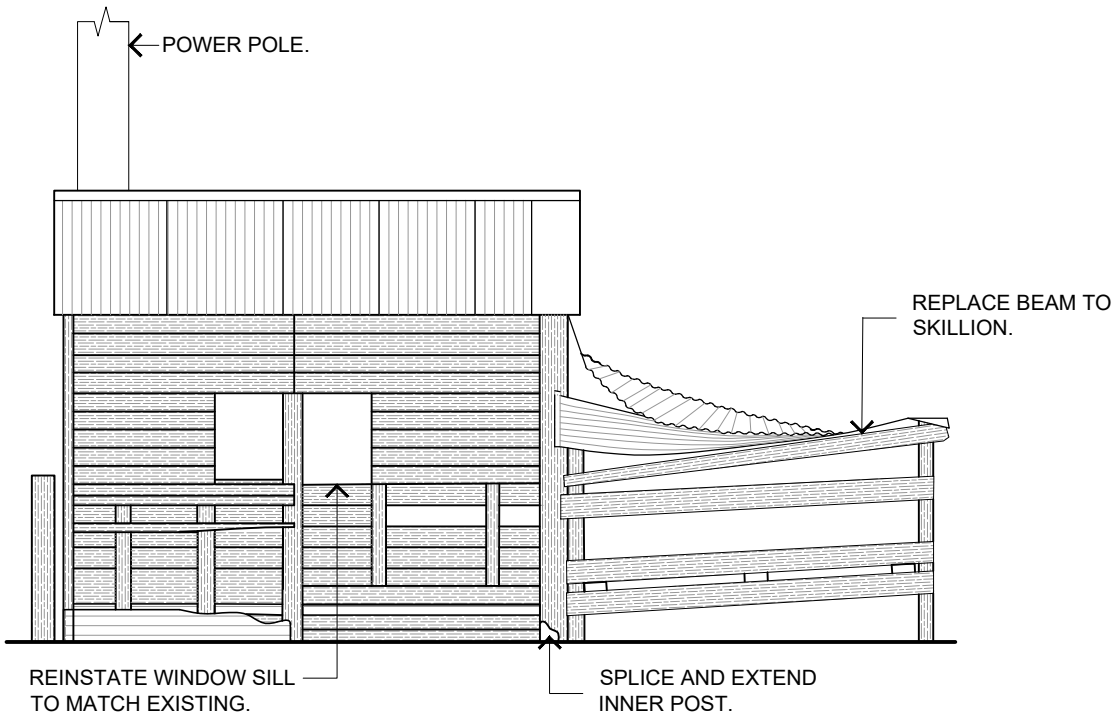
These plans should be read in conjunction with
the decision notice

REPLACE EASTERN POSTS.
USE RE-PURPOSED TIMBERS
FROM SITE WHERE POSSIBLE.

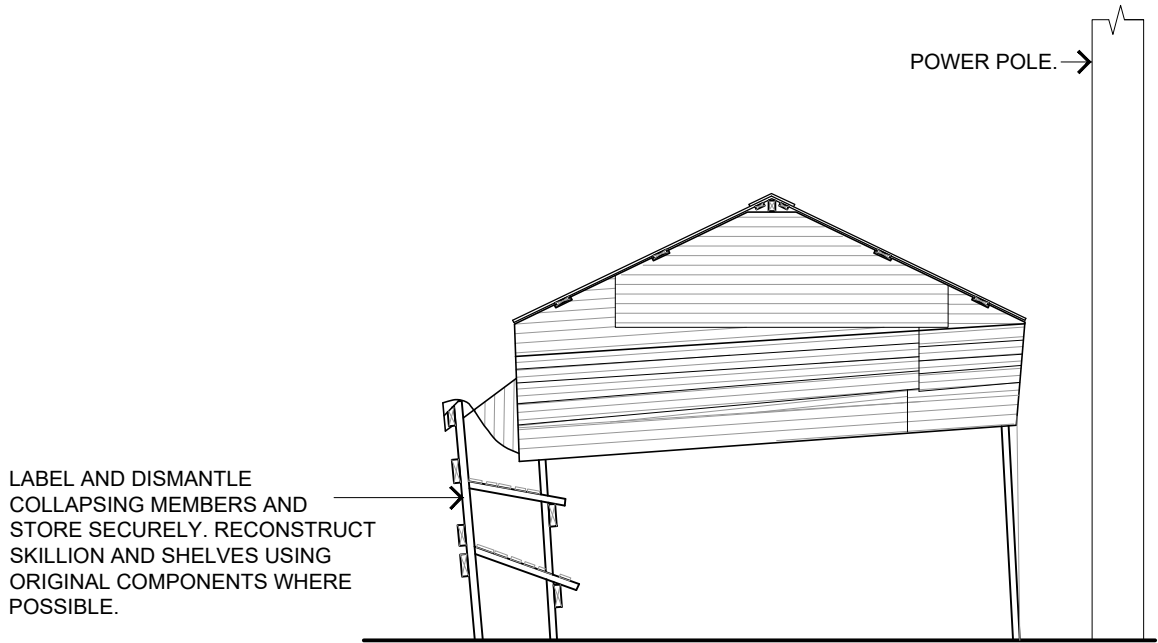
(for) Delegate
Heritage Council



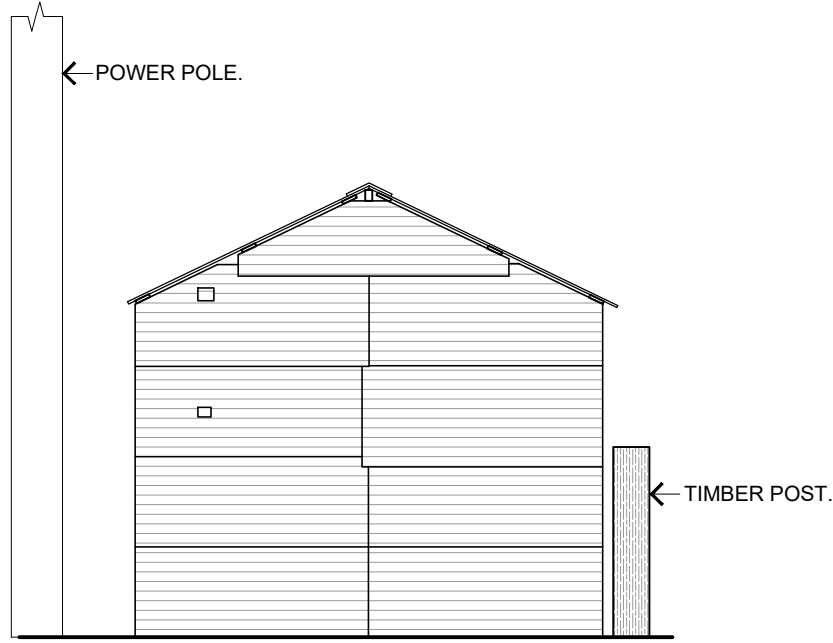
01 WEST ELEVATION
-- CREAMERY
SCALE: 1:50



02 EAST ELEVATION
-- CREAMERY
SCALE: 1:50



03 NORTH ELEVATION
-- CREAMERY
SCALE: 1:50



04 SOUTH ELEVATION
-- CREAMERY
SCALE: 1:50

NOTES:

GENERAL:

ALLOW POLE DIFFUSERS TO ALL POLES IN GROUND, NEW AND EXISTING.

APPLY WOOD PRESERVATIVE TO ALL EXPOSED ENDS OF TIMBER.

REPLACE MISSING AND SEVERELY DAMAGED WEATHERBOARDS TO MATCH EXISTING.

REPLACE DECAYED POSTS ON EAST AND WEST FACING WALLS.

ROOF:

REPLACE BEAMS TO SKILLION.

REPLACE LEAN TO ROOF BEAMS.

TREAT ROOF WITH 'PENETROL'.

REINSTATE CEILING JOISTS IN EXISTING CUT OUTS TO CREAMERY ROOF.

METAL CLADDING TO SKILLION ROOF AND RACK WAS BENT TO EXISTING FORM. THIS FORM IS TO BE RETAINED WHEN REPLACING STRUCTURAL MEMBERS. ALLOW TEMPORARY PROPPING AS NECESSARY.

GENERAL NOTES

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D	24/08/22	CONSULTANT COORDINATION	MS
E	13/10/22	SECTION 60 APPLICATION	MS

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

JPA&D
ARCHITECTURE INTERIORS HERITAGE

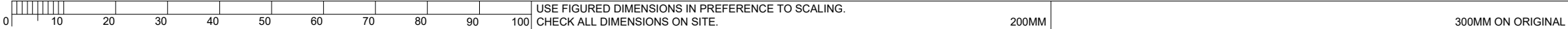
SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT	
DEPARTMENT OF PLANNING, INDUSTRY AND ENVIRONMENT	
PROJECT TITLE	
HADLEY PARK STAGE 1	
PROJECT ADDRESS	
14-278 OLD CASTLEREAGH ROAD, CASTLEREAGH, NSW 2749	

DRAWING TITLE		
CREAMERY ELEVATIONS - EXISTING		
SCALE	SHEET SIZE	
1:50	A3	
DESIGNED	DRAWN	CHECKED
	MS	ES
JOB No.	DRAWING No.	REVISION
2110	WD501	E

A3



HERITAGE ACT 1977

APPLICATION UNDER SECTION 60

Application No: 1638

Approved by the Heritage Council of NSW
Delegated Authority

On 17/11/2022

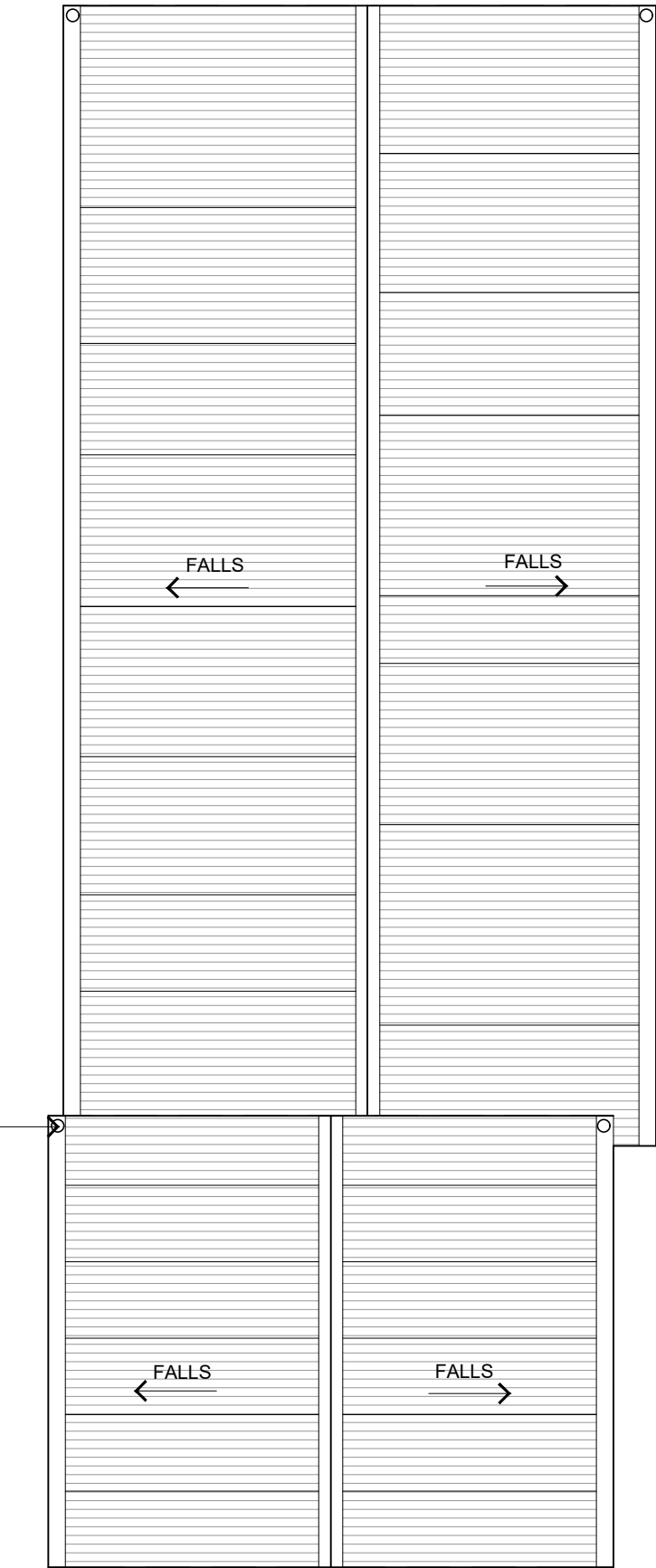
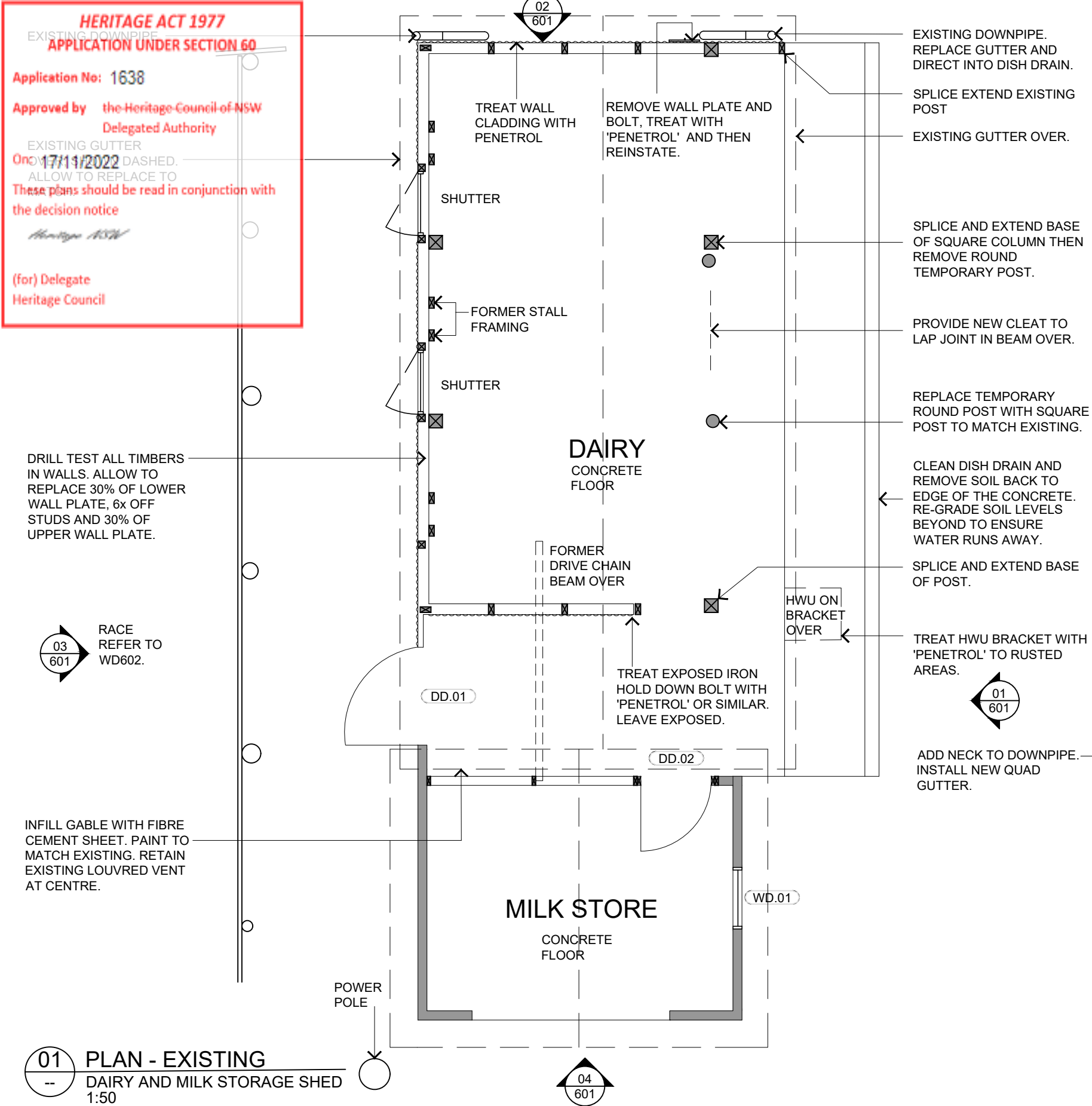
These plans should be read in conjunction with the decision notice

(for) Delegate
Heritage Council

EXISTING DOWNPIPE

EXISTING GUTTER

ON 17/11/2022 DASHED. ALLOW TO REPLACE TO THESE PLANS



NOTES:

GENERAL:
REMOVE ALL VEGETATION FROM BUILDING INCLUDING FROM ROOF. ADJUST SOIL LEVELS SO THAT THERE IS A POSITIVE FALL AWAY FROM THE BUILDING ON ALL ELEVATIONS. ALONG THE WALLS THE CONCRETE IS DELAMINATING AT THE HOLD DOWN BOLTS THAT SECURE THE TIMBER FRAME ON TOP OF THE CONCRETE RENDERED BRICK WALLS. TREAT HOLD DOWN BOLTS WITH 'PENETROL'.

ROOF:
GENERALLY:
EXAMINE ALL ROOF SHEETS FOR DAMAGE. UNDO SHEETS AND TREAT RUST WITH 'PENETROL' OR SIMILAR, INCLUDING FIXING PENETRATIONS, THEN RE-FIX SHEETS.

MILK STORE:
REPAIR ROOF TIMBERS WHERE DAMAGED AND REPLACE WHERE MISSING TO MATCH EXISTING.

DAIRY:
CHECK ROOF FOR DAMAGE. TREAT RUSTED AREAS WITH 'PENETROL'. REPAIR OR REPLACE DAMAGED SECTION OF RIDGE CAPPING. REPLACE GUTTERS AND RECONNECT DOWNPIPES.

DOORS:
DD.01:
REPAIR LEDGED AND BRACED DOOR AND FRAME.
DD.02:
ADJUST DOOR AT BASE.

01 PLAN - EXISTING DAIRY AND MILK STORAGE SHED 1:50

02 ROOF PLAN - EXISTING DAIRY AND MILK STORAGE SHED 1:50

GENERAL NOTES

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REVISION

JPA&D ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09 22-36 MOUNTAIN STREET ULTIMO NSW 2007 TEL: (02) 9211 2212 WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect Registration Number 6596

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD, CASTLEREAGH, NSW 2749

DRAWING TITLE

DAIRY AND MILK STORAGE SHED PLANS - EXISTING

SCALE

1:50

SHEET SIZE

A3

DESIGNED

-

DRAWN

MB

CHECKED

ES

JOB No.

2110

DRAWING No.

WD600

REVISION

F

A3

0 10 20 30 40 50 60 70 80 90 100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING. CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL

HERITAGE ACT 1977

APPLICATION UNDER SECTION 60

Application No: 1638

Approved by the Heritage Council of NSW
Delegated Authority

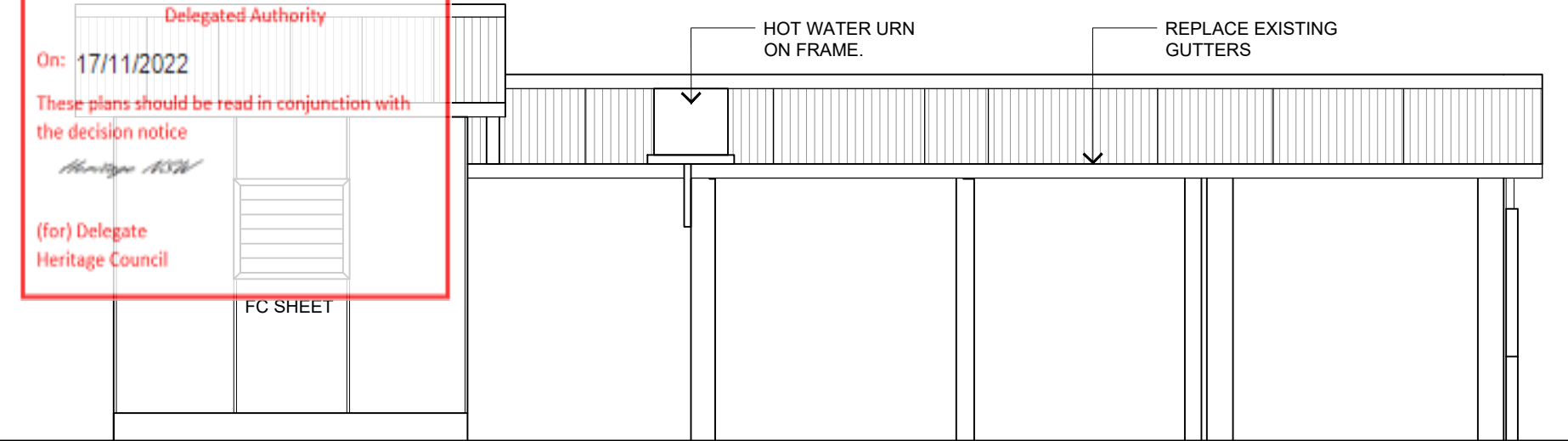
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(for) Delegate
Heritage Council

FC SHEET

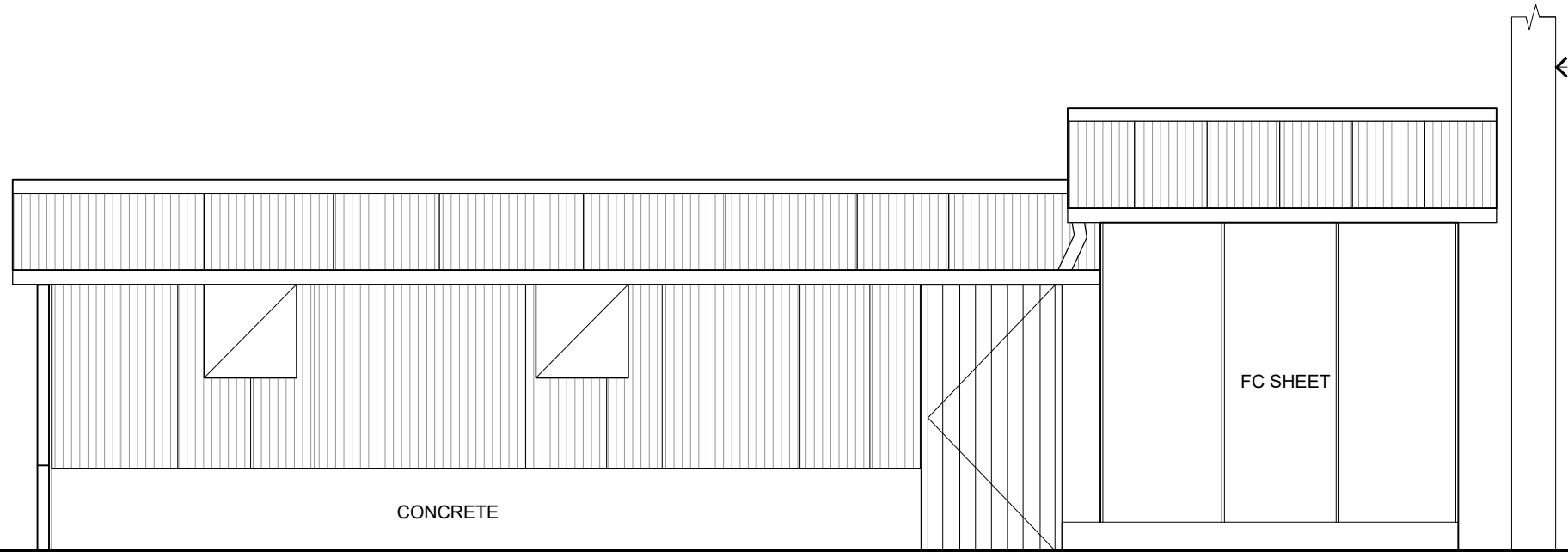


01

NORTH ELEVATION

DAIRY AND MILK STORAGE SHED

SCALE: 1:50

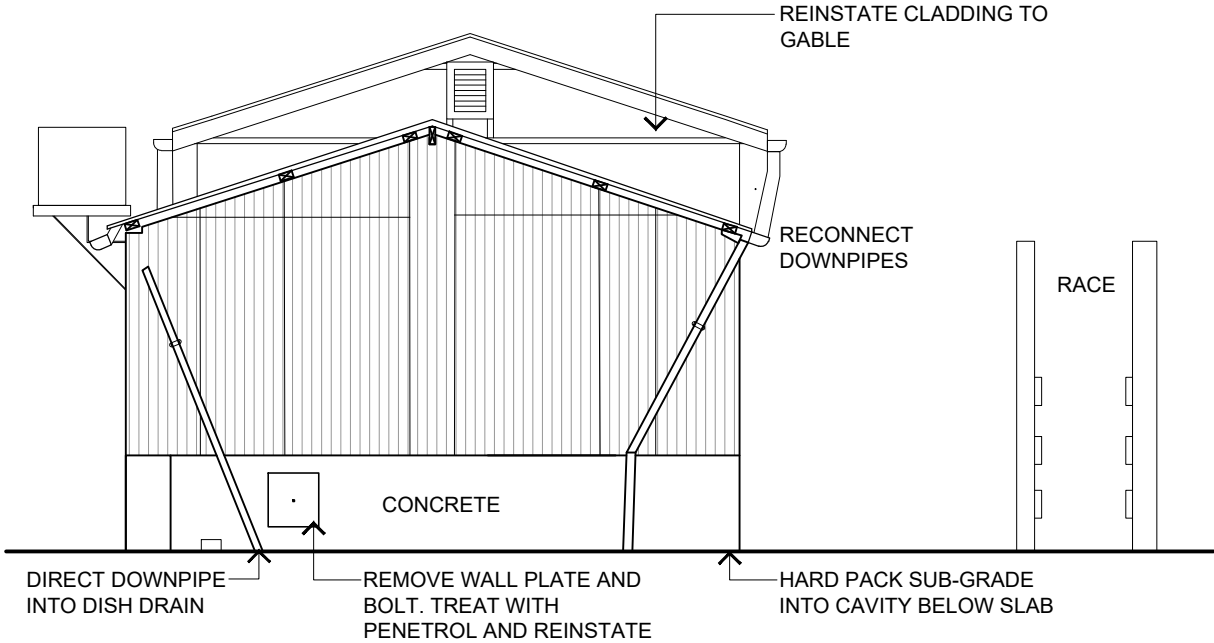


03

SOUTH ELEVATION

DAIRY AND MILK STORAGE SHED

SCALE: 1:50

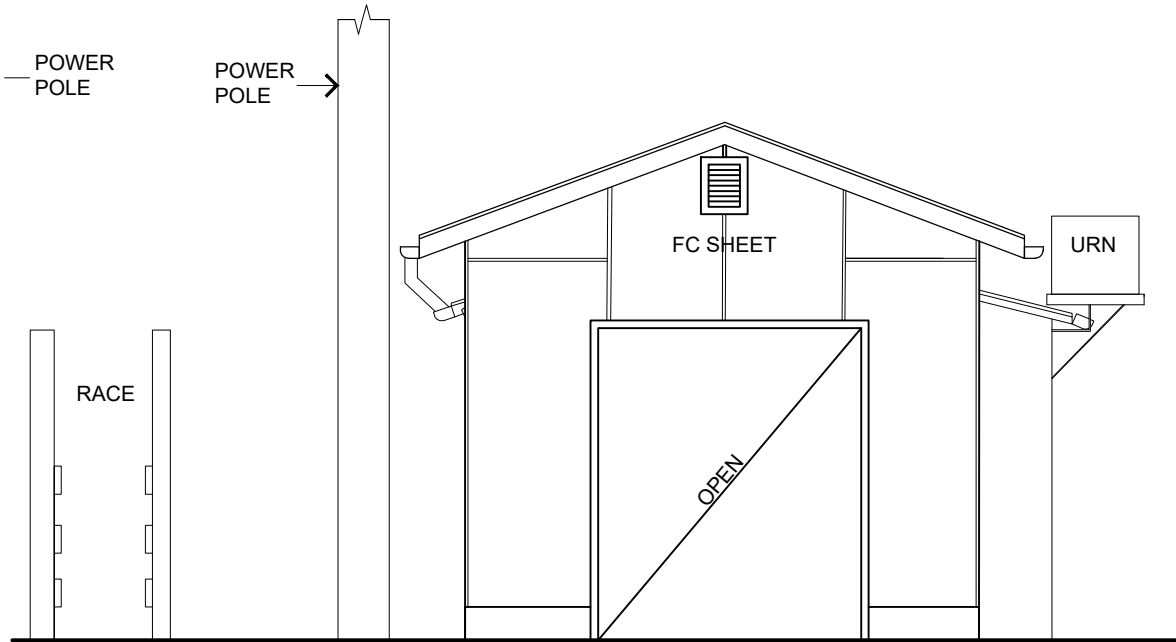


02

WEST ELEVATION

DAIRY AND MILK STORAGE SHED

SCALE: 1:50



04

EAST ELEVATION

DAIRY AND MILK STORAGE SHED

SCALE: 1:50

GENERAL NOTES

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REVISION			
A	15/02/22	FOR INFORMATION	MS
B	02/06/22	50% ISSUE	ES
C	13/07/22	ISSUE FOR REVIEW	MS
D	24/08/22	CONSULTANT COORDINATION	MS
E	13/10/22	SECTION 60 APPLICATION	MS

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.



ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09

22-36 MOUNTAIN STREET

ULTIMO NSW 2007

TEL: (02) 9211 2212

WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect

Registration Number 6596

CLIENT		
DEPARTMENT OF PLANNING, INDUSTRY AND ENVIRONMENT		
PROJECT TITLE		
HADLEY PARK STAGE 1		
PROJECT ADDRESS		
14-278 OLD CASTLEREAGH ROAD, CASTLEREAGH, NSW 2749		

DRAWING TITLE		
DAIRY AND MILK STORAE SHED ELEVATIONS - EXISTING		
SCALE	SHEET SIZE	
1:50	A3	
DESIGNED	DRAWN	CHECKED
MS	ES	
JOB No.	DRAWING No.	REVISION
2110	WD601	E

HERITAGE ACT 1977

APPLICATION UNDER SECTION 60

Application No: 1638

Approved by: the Heritage Council of NSW

On: 17/11/2022

Delegated Authority

These plans should be read in conjunction with the decision notice

(for) Delegate Heritage Council

NOTES:

GENERAL:

SALVAGE EXISTING ROOF AND WALL SHEETING. SPLICE AND EXTEND ALL POST BASES. ALLOW EXISTING TOP RAILS THROUGHOUT.

ROOF LEVELS.

CLEAR DEBRIS AWAY FROM WEST, TAKING GATE REMNANTS AND PEPPERCORN TREE.

REPLACE MISSING POSTS WITH SALVAGED WHERE POSSIBLE OR NEW TO MATCH EXISTING.

REMOVE TREE STUMP NEAR SOUTHWEST CORNER.

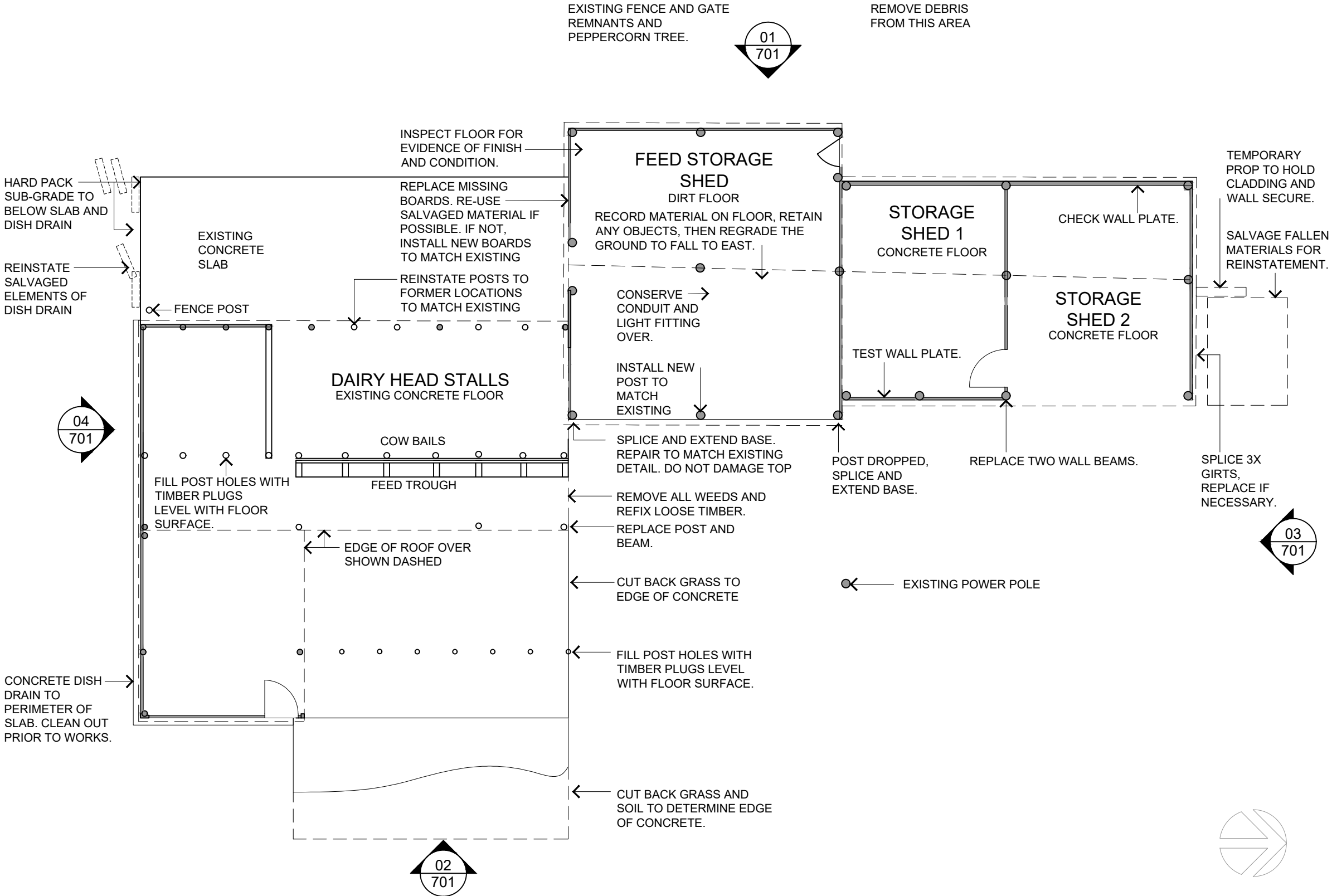
REINSTATE ALL IRON ATTACHMENTS WITH 'CONTROL'.

DAIRY HEAD STALLS:
REMOVE ROOF AND SET SHEETS ASIDE FOR REINSTATEMENT.
REMOVE AND REPLACE ALL BATTENS USING SALVAGED MATERIAL OR NEW TO MATCH EXISTING.
REINSTATE ROOF SHEETS, ALLOWING FOR 30% REPLACEMENT. MAKE ROOF WATERPROOF.
ASSESS CONDITION OF TIMBERS IN COW BAILS AND FEED TROUGH. REPAIR USING SALVAGED MATERIAL OR NEW TO MATCH EXISTING.

FEED STORAGE SHED:
RECORD MATERIAL ON GROUND SURFACE. RELOCATE MOVEABLE ITEMS IN CONSULTATION WITH ARCHITECT. RE-GRADE GROUND TO FALL TOWARDS THE EAST.
ALLOW TO REPLACE 40% OF ALL BATTENS AND REPAIR 60%. SPLICE RIDGE BEAM AT END AND REPAIR AS NECESSARY. REPLACE 3 RAFTERS. CHECK OVER REMAINDER.

STORAGE SHED 1:
ALLOW TO REPLACE ALL BATTENS AND 4 RAFTERS.

STORAGE SHED 2:
ALLOW TO REPLACE 20% OF BATTENS AND 3 RAFTERS.



01
--
PLAN - EXISTING
FEED STORE AND COW BAILS
1:100

SEE WD702 FOR ROOF PLAN.

GENERAL NOTES

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E	13/10/22	SECTION 60 APPLICATION	MS

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

FEED STORE AND COW BAILS
PLAN - EXISTING

SCALE

1:100

DESIGNED

-

JOB No.

2110

SHEET SIZE

A3

DRAWN

MB

DRAWING No.

WD700

REVISION

E

HERITAGE ACT 1977

APPLICATION UNDER SECTION 60

Application No: 1638

Approved by the Heritage Council of NSW
Delegated Authority

On: 17/11/2022

These plans should be read in conjunction with
the decision notice

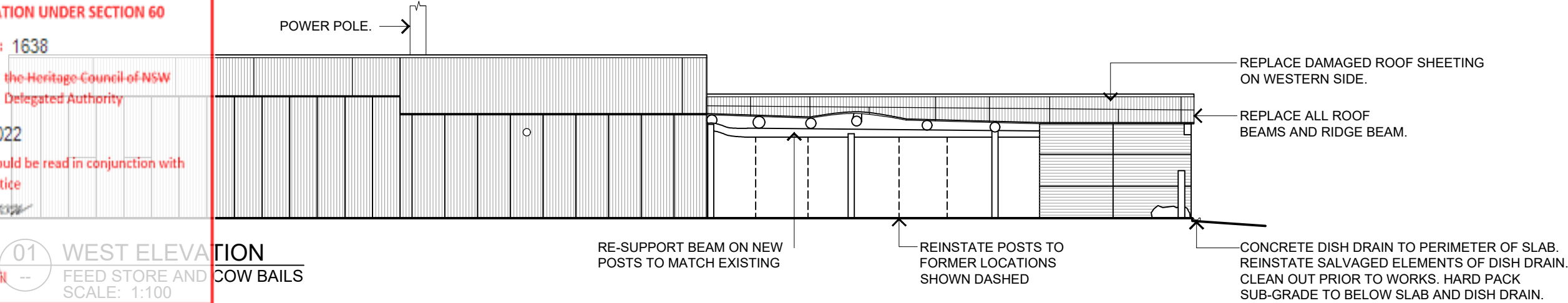
(for) Delegate
Heritage Council

01

WEST ELEVATION

FEED STORE AND COW BAILS

SCALE: 1:100

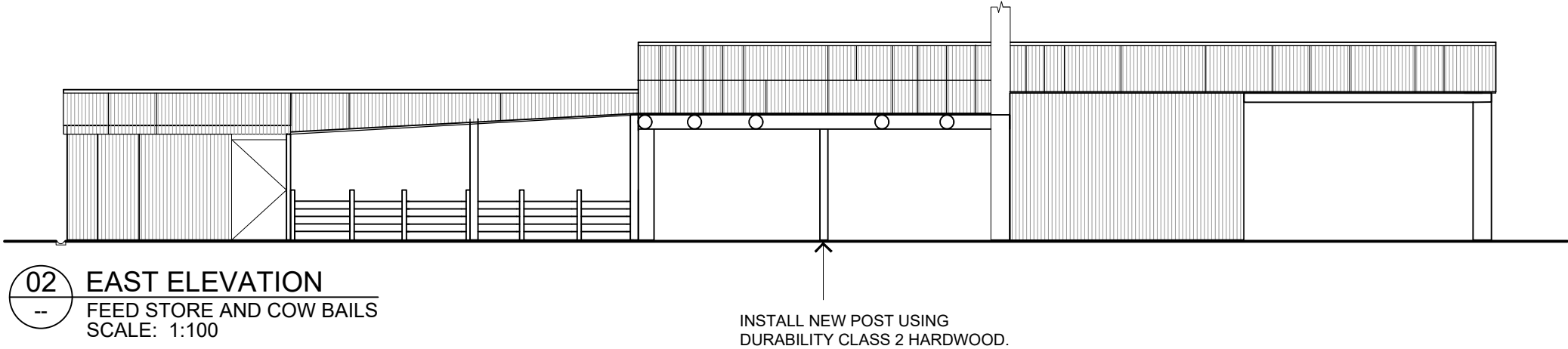


02

EAST ELEVATION

FEED STORE AND COW BAILS

SCALE: 1:100

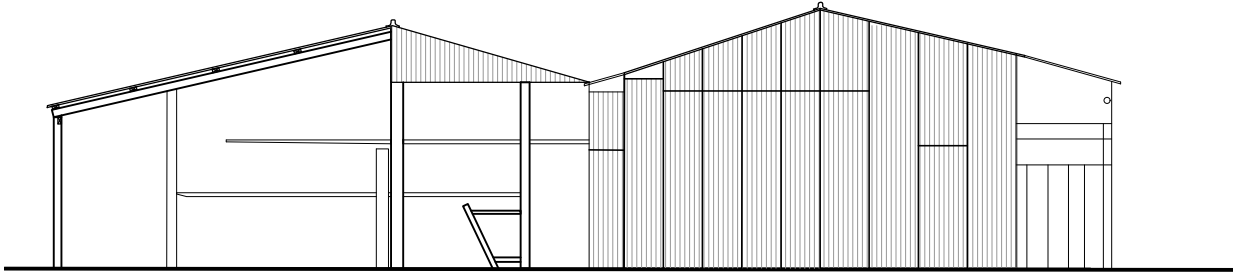


03

NORTH ELEVATION

FEED STORE AND COW BAILS

SCALE: 1:100

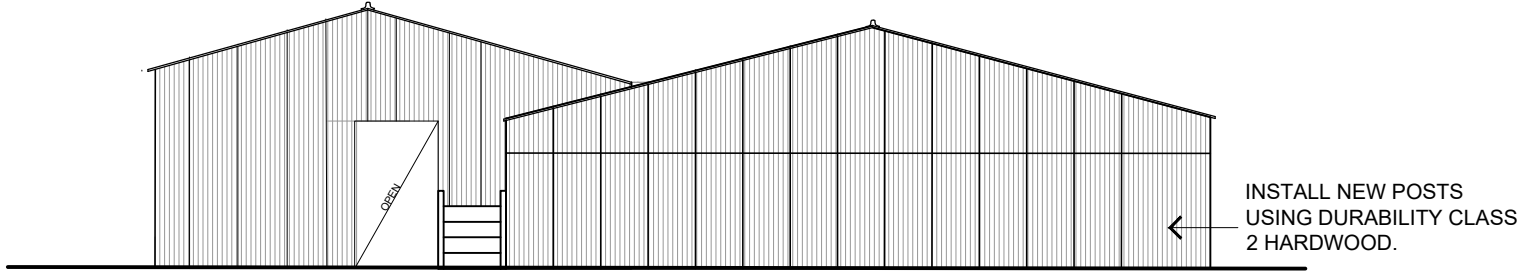


04

SOUTH ELEVATION

FEED STORE AND COW BAILS

SCALE: 1:100



GENERAL NOTES

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USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

FEED STORE AND COW BAILS
ELEVATIONS - EXISTING

SCALE

1:100

SHEET SIZE

A3

DESIGNED

DRAWN

CHECKED

MS

ES

JOB No.

DRAWING No.

REVISION

2110

WD701

E

HERITAGE ACT 1977

APPLICATION UNDER SECTION 60

Application No: 1638

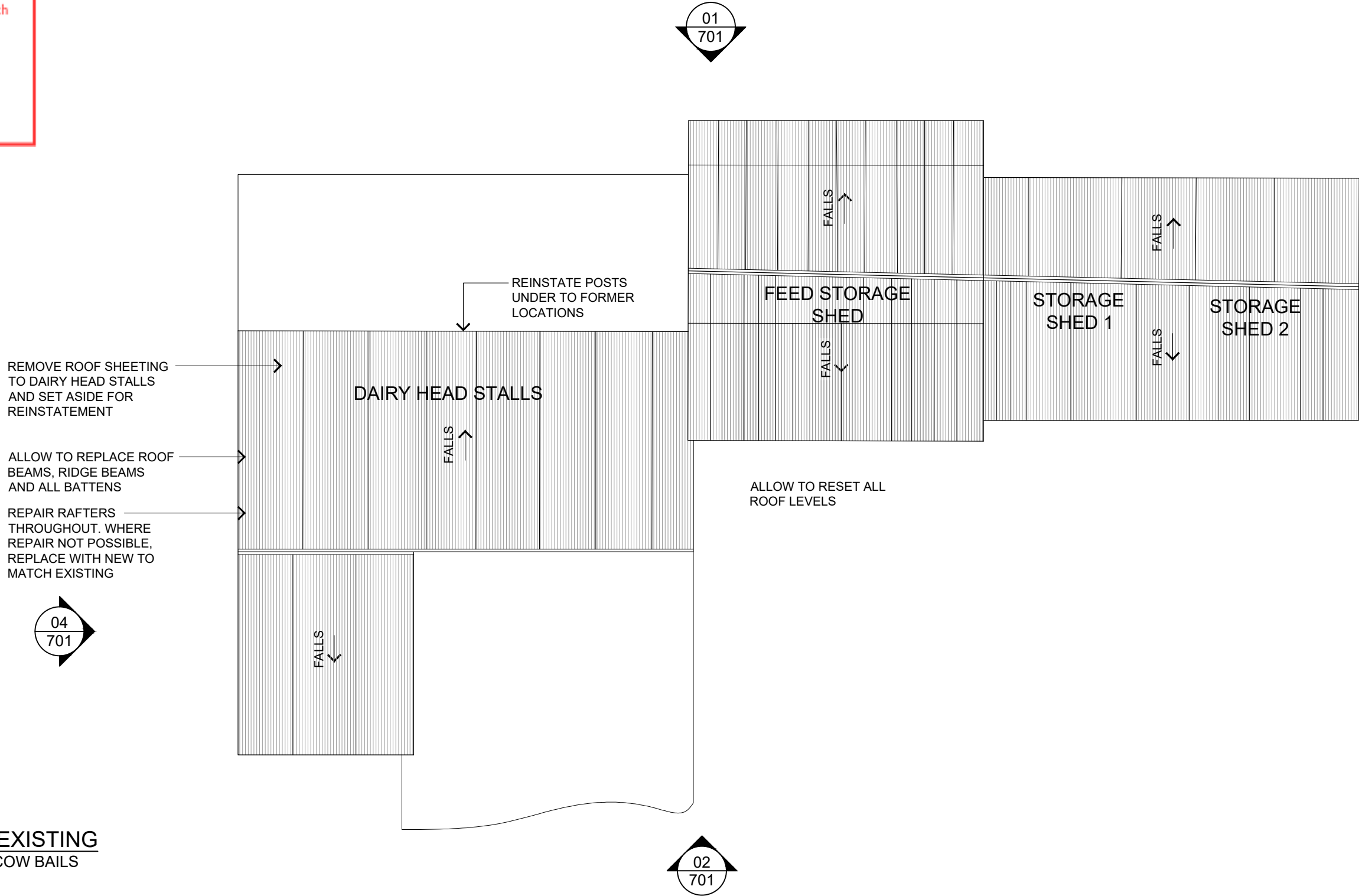
Approved by the Heritage Council of NSW
Delegated Authority

On: 17/11/2022

These plans should be read in conjunction with
the decision notice



(for) Delegate
Heritage Council



01

ROOF PLAN - EXISTING

FEED STORE AND COW BAILS

1:100

GENERAL NOTES

COPYRIGHT

REVISION

01

22

33

44

55

66

77

88

99

100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL

JPA&D

ARCHITECTURE INTERIORS HERITAGE

SUITE C2.09

22-36 MOUNTAIN STREET

ULTIMO NSW 2007

TEL: (02) 9211 2212

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Jennifer Preston | Nominated Architect

Registration Number 6596

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

FEED STORE AND COW BAILS
ROOF PLAN - EXISTING

SCALE

1:100

SHEET SIZE

A3

DESIGNED

DRAWN

CHECKED

-

MB

ES

JOB No.

DRAWING No.

REVISION

2110

WD702

E

HERITAGE ACT 1977

APPLICATION UNDER SECTION 60

Application No: 1638

Approved by the Heritage Council of NSW
Delegated Authority

On: 17/11/2022

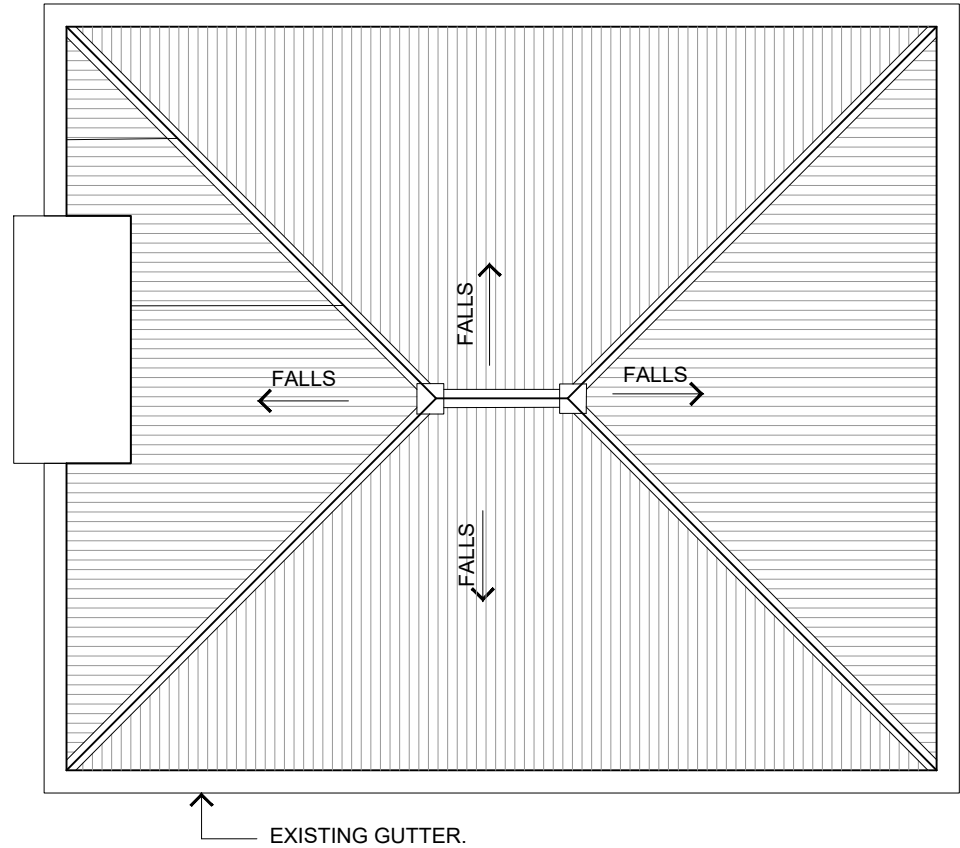
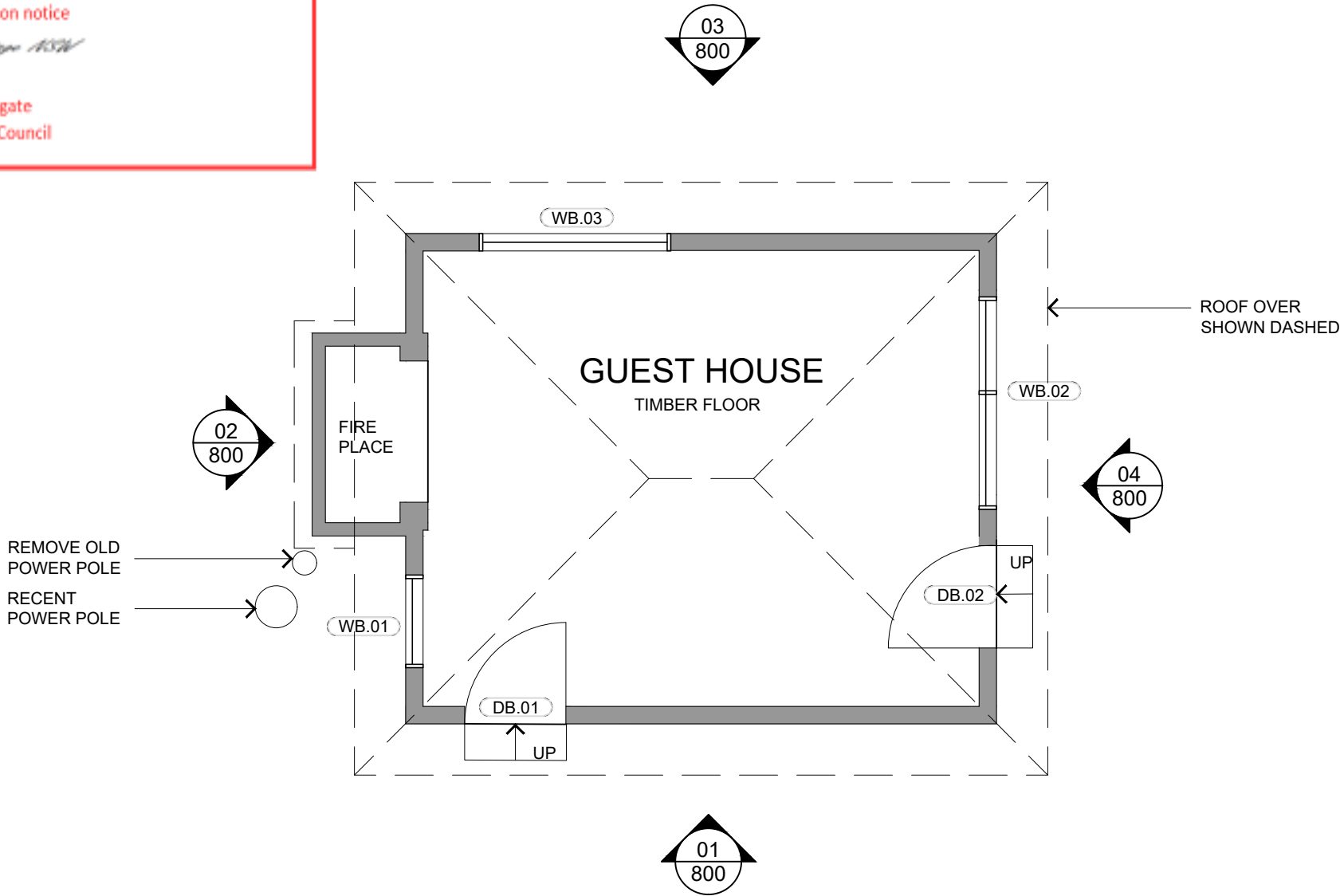
These plans should be read in conjunction with
the decision notice



(for) Delegate
Heritage Council

NOTES:

THE GUEST HOUSE BUILDING IS TO BE
DEMOLISHED. ALLOW TO DISCONNECT
AND CAP EXISTING SERVICES. RECORD
LOCATIONS FOR POSSIBLE FUTURE USE.



01 PLAN - EXISTING
GUEST HOUSE
1:50

02 ROOF PLAN - EXISTING
GUEST HOUSE
1:50

GENERAL NOTES

All building work to comply with relevant Australian Standards. No dimensions to be scaled or scanned from drawing. All dimensions to be checked on site prior to manufacture and construction. Figured dimensions to be used at all times. Contractor is responsible for correct setting out with particular reference to boundaries, building lines, etc. Contractor to verify all levels, heights and dimensions on site. Contractor is to locate and identify existing services on the site and to protect these from damage throughout the duration of the works. Any errors, discrepancies or omissions to be reported to architect immediately. Any queries arising from the above must be reported and clarified before works commence.

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F	13/10/22	SECTION 60 APPLICATION	MS

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL



SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT
DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
GUEST HOUSE
PLAN - EXISTING

SCALE
1:50

SHEET SIZE
A3

DESIGNED
-

DRAWN
MB

CHECKED
ES

JOB No.
2110

DRAWING No.
WD800

REVISION
F

HERITAGE ACT 1977
APPLICATION UNDER SECTION 60

Application No: 1638

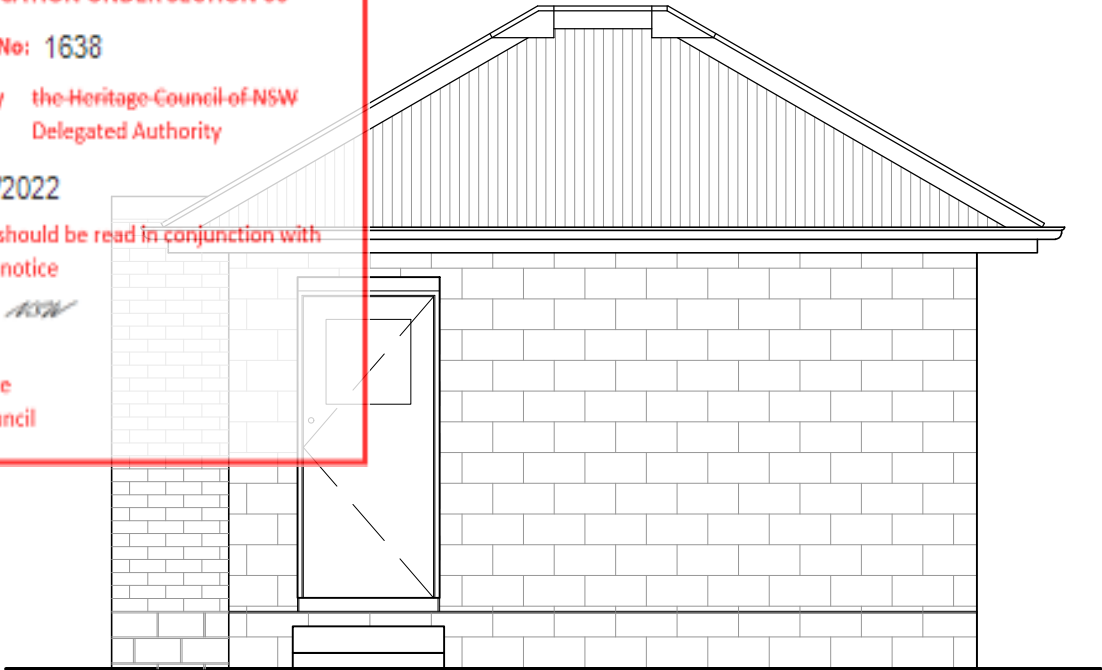
Approved by the Heritage Council of NSW
Delegated Authority

On: 17/11/2022

These plans should be read in conjunction with
the decision notice

Heritage NSW

(for) Delegate
Heritage Council



01 EAST ELEVATION
-- GUESTHOUSE
SCALE: 1:50



02 SOUTH ELEVATION
-- GUESTHOUSE
SCALE: 1:50

NOTES:

THE GUEST HOUSE BUILDING IS TO BE
DEMOLISHED. ALLOW TO DISCONNECT
AND CAP EXISTING SERVICES. RECORD
LOCATIONS FOR POSSIBLE FUTURE USE.



03 WEST ELEVATION
-- GUESTHOUSE
SCALE: 1:50



04 NORTH ELEVATION
-- GUESTHOUSE
SCALE: 1:50

GENERAL NOTES

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F	13/10/22	SECTION 60 APPLICATION	MS



SUITE C2.09
22-36 MOUNTAIN STREET
ULTIMO NSW 2007
TEL: (02) 9211 2212
WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT

DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE

HADLEY PARK STAGE 1

PROJECT ADDRESS

14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE

GUEST HOUSE
ELEVATIONS - EXISTING

SCALE SHEET SIZE

1:50 A3

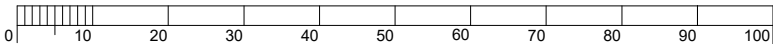
DESIGNED DRAWN CHECKED

MS ES

JOB No. DRAWING No. REVISION

2110 WD801 F

A3



USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL

HERITAGE ACT 1977

APPLICATION UNDER SECTION 60

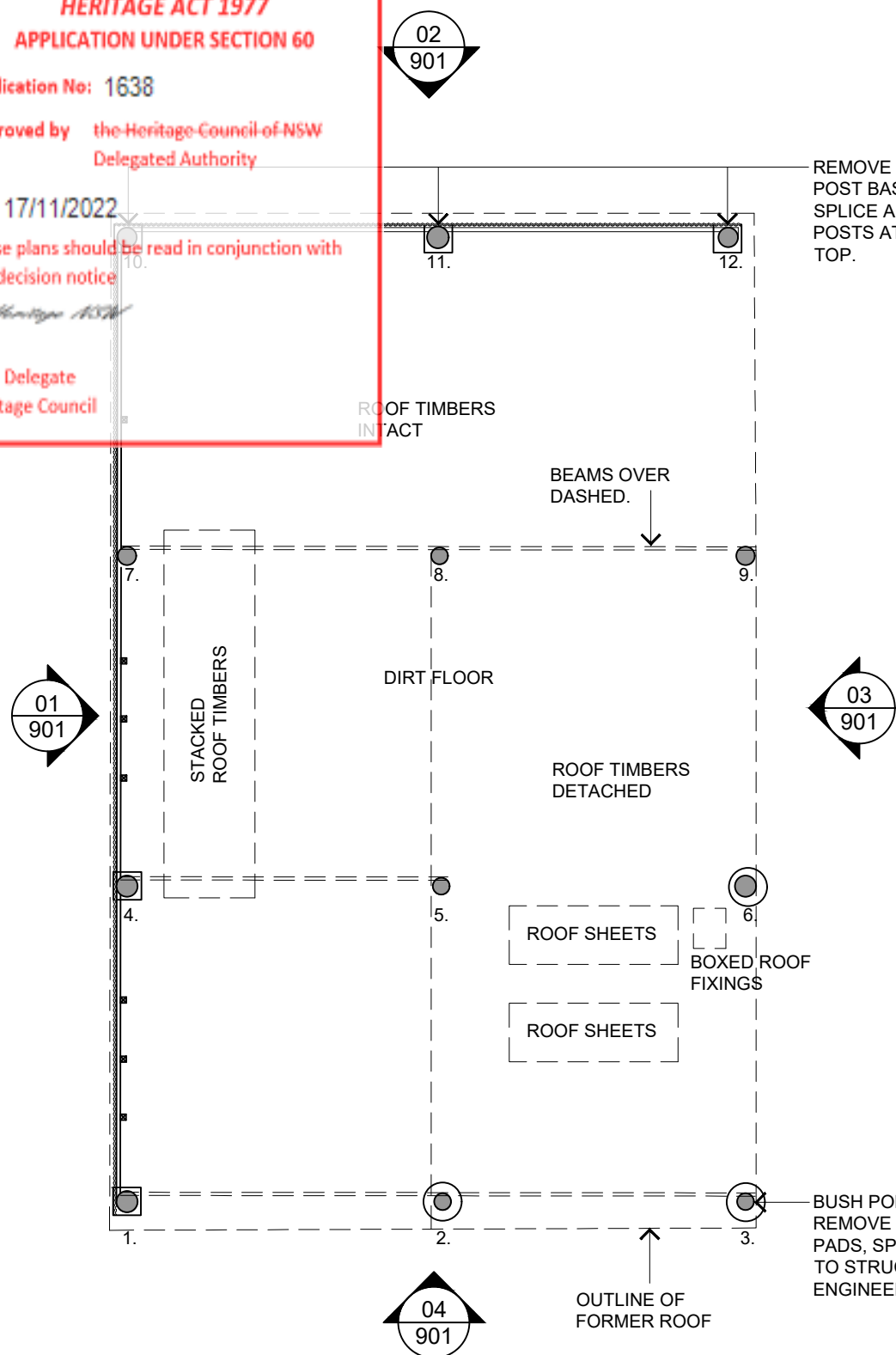
Application No: 1638

Approved by the Heritage Council of NSW
Delegated Authority

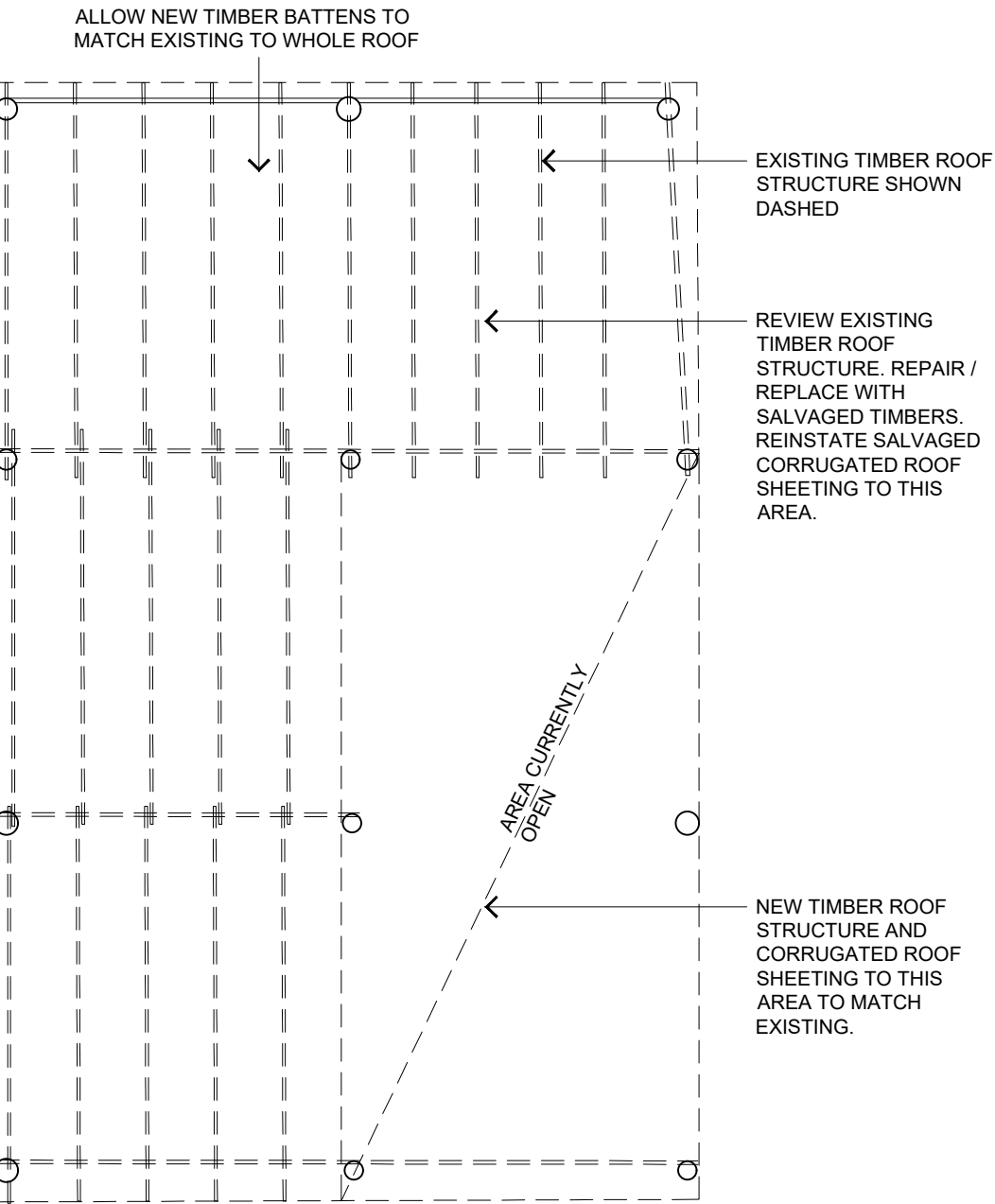
On: 17/11/2022

These plans should be read in conjunction with the decision notice

(for) Delegate
Heritage Council



01
--
PLAN - EXISTING
HAY SHED
1:100



02
--
ROOF PLAN - EXISTING
HAY SHED
1:100

NOTES:

GENERAL:

IN ADDITION TO THOSE NOMINATED ON PLAN, ALLOW TO SPLICE AND EXTEND TOPS OF 5 x POSTS. ALLOW 1.2 m SPLICE AND ADD POLE DIFFUSER TO HOST SPLICE.

REMOVE TREE FROM SOUTH SIDE OF BUILDING. REMOVE GRASS AND VEGETATION IN BUILDING FOOTPRINT. RE-GRADE FLOOR TO PREVIOUS SURFACE.

REPLACE BOTTOM PLATES AND CHECK OVER WALL TIMBERS.

RETAIN ALL IRONMONGERY IN PLACE. TREAT FOR RUST WITH 'PENETROL'.

UNPACK STACKED AND BOXED MATERIALS SALVAGED FROM FORMER ROOF. REVIEW CONDITION FOR RE-USE.

ROOF:

ROOF IS TO BE REINSTATED TO PREVENT FURTHER DEGRADATION OF BUILDING.

SALVAGED TIMBERS ARE TO BE USED WHERE SOME EXISTING ROOF TIMBERS REMAIN. RE-SHEET THIS PART OF ROOF WITH SALVAGED SHEETING. INSTALL NEW ROOF STRUCTURE TO MATCH EXISTING TO PART WHICH IS CURRENTLY OPEN, WITH NEW GALVANISED SHEETING. REPLACE ALL BATTENS WITH NEW TO MATCH.

REPLACEMENT ROOF SHEETING TO BE SHORT SHEET LENGTHS. ALL ROOF SHEETING TO BE BUGLE FIXED. SPLICE AND EXTEND RAFTERS AT EACH END.

ALLOW TO REPLACE 12 RAFTERS. SALVAGE RAFTERS WHERE POSSIBLE. SPLICE AND EXTEND RAFTERS TO SOUTH EDGE OF ROOF.

TREAT ROOF SHEETING WITH 'PENETROL'.

A3

GENERAL NOTES

All building work to comply with relevant Australian Standards.

No dimensions to be scaled or scanned from drawing.

All dimensions to be checked on site prior to manufacture and construction. Figured dimensions to be used at all times.

Contractor is responsible for correct setting out with particular reference to boundaries, building lines, etc. Contractor to verify all levels, heights and dimensions on site. Contractor is to locate and identify existing services on the site and to protect these from damage throughout the duration of the works. Any errors, discrepancies or omissions to be reported to architect immediately. Any queries arising from the above must be reported and clarified before works commence.

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F	13/10/22	SECTION 60 APPLICATION	MS

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL

SUITE C2.09

22-36 MOUNTAIN STREET

ULTIMO NSW 2007

TEL: (02) 9211 2212

WWW.JPAD.COM.AU

Jennifer Preston | Nominated Architect

Registration Number 6596

ARCHITECTURE INTERIORS HERITAGE

CLIENT	
DEPARTMENT OF PLANNING, INDUSTRY AND ENVIRONMENT	
PROJECT TITLE	
HADLEY PARK STAGE 1	
PROJECT ADDRESS	
14-278 OLD CASTLEREAGH ROAD, CASTLEREAGH, NSW 2749	

DRAWING TITLE		
HAY SHED PLANS - EXISTING GROUND AND ROOF		
SCALE	SHEET SIZE	
1:100	A3	
DESIGNED	DRAWN	CHECKED
-	MB	ES
JOB No.	DRAWING No.	REVISION
2110	WD900	F

HERITAGE ACT 1977
APPLICATION UNDER SECTION 60

Application No: 1638

Approved by the Heritage Council of NSW
Delegated Authority

On: 17/11/2022

These plans should be read in conjunction with
the decision notice

Heritage NSW

(for) Delegate
Heritage Council

NEW TREATED PINE
RETAINING WALL TO
STRUCTURAL
ENGINEER'S
DETAILS

REINSTATE CLADDING.

01 SOUTH ELEVATION
HAY SHED
SCALE: 1:100

CHECK OVER ALL
WALL TIMBERS.
ALLOW TO REPAIR
TO APPROVED
METHODOLOGY

REMOVE ALL EXISTING
BATTENS AND REPLACE
TO MATCH.

OPEN

OPEN

OPEN

EXTEND WALL
STUDS TO
BOTTOM PLATE.

REPLACE BOTTOM
PLATES TO WALLS.

NEW TREATED PINE
RETAINING WALL.

03 NORTH ELEVATION
HAY SHED
SCALE: 1:100

FRAMING OF SOUTH WALL SEEN IN
BACKGROUND.

REINSTATE CLADDING.

02 WEST ELEVATION
HAY SHED
SCALE: 1:100

OPEN

OPEN

04 EAST ELEVATION
HAY SHED
SCALE: 1:100

NOTES:
GENERAL:
IN ADDITION TO THOSE NOMINATED ON PLAN,
ALLOW TO SPLICE AND EXTEND TOPS OF 5 x
POSTS. ALLOW 1.2 m SPLICE AND ADD POLE
DIFFUSER TO HOST SPLICE.
REMOVE TREE FROM SOUTH SIDE OF BUILDING.
REMOVE GRASS AND VEGETATION IN BUILDING
FOOTPRINT. RE-GRADE FLOOR TO PREVIOUS
SURFACE.
REPLACE BOTTOM PLATES AND CHECK OVER
WALL TIMBERS.
RETAIN ALL IRONMONGERY IN PLACE. TREAT FOR
RUST WITH 'PENETROL'.
UNPACK STACKED AND BOXED MATERIALS
SALVAGED FROM FORMER ROOF. REVIEW
CONDITION FOR RE-USE.

ROOF:
ROOF IS TO BE REINSTATED TO PREVENT
FURTHER DEGRADATION OF BUILDING.
SALVAGED TIMBERS ARE TO BE USED WHERE
SOME EXISTING ROOF TIMBERS REMAIN. RE-SHEET
THIS PART OF ROOF WITH SALVAGED SHEETING.
INSTALL NEW ROOF STRUCTURE TO MATCH
EXISTING TO PART WHICH IS CURRENTLY OPEN,
WITH NEW GALVANISED SHEETING. REPLACE ALL
BATTENS WITH NEW TO MATCH.
REPLACEMENT ROOF SHEETING TO BE SHORT
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BUGLE FIXED. SPLICE AND EXTEND RAFTERS AT
EACH END.
ALLOW TO REPLACE 12 RAFTERS. SALVAGE
RAFTERS WHERE POSSIBLE. SPLICE AND EXTEND
RAFTERS TO SOUTH EDGE OF ROOF.
TREAT ROOF SHEETING WITH 'PENETROL'.

GENERAL NOTES

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No dimensions to be scaled or scanned from drawing.
All dimensions to be checked on site prior to manufacture and
construction. Figured dimensions to be used at all times.
Contractor is responsible for correct setting out with particular
reference to boundaries, building lines, etc. Contractor to verify all
levels, heights and dimensions on site. Contractor is to locate and
identify existing services on the site and to protect these from
damage throughout the duration of the works. Any errors,
discrepancies or omissions to be reported to architect immediately.
Any queries arising from the above must be reported and clarified
before works commence.

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written consent. The client accepts the responsibility of material's
content and statement.
The elements shown on this drawing are prototypical design only.
They may not be utilised, altered, the specification changed, or
implemented in part, or in whole, in any structure without
notification and written approval being issued by JPA&D Australia
Pty Ltd.

REVISION			
A	15/02/22	FOR INFORMATION	MS
B	02/06/22	50% ISSUE	ES
C	13/07/22	ISSUE FOR REVIEW	ES
D	01/08/22	FINAL DRAFT FOR REVIEW	ES
E	24/08/22	CONSULTANT COORDINATION	MS
F	13/10/22	SECTION 60 APPLICATION	MS

JPA&D
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Jennifer Preston | Nominated Architect
Registration Number 6596

CLIENT
DEPARTMENT OF PLANNING, INDUSTRY
AND ENVIRONMENT

PROJECT TITLE
HADLEY PARK STAGE 1

PROJECT ADDRESS
14-278 OLD CASTLEREAGH ROAD,
CASTLEREAGH, NSW 2749

DRAWING TITLE
HAY SHED ELEVATIONS
- EXISTING

SCALE
1:100

SHEET SIZE
A3

DESIGNED
MS

DRAWN
ES

CHECKED
ES

JOB No.
2110

DRAWING No.
WD901

REVISION
F

A3

0 10 20 30 40 50 60 70 80 90 100

USE FIGURED DIMENSIONS IN PREFERENCE TO SCALING.
CHECK ALL DIMENSIONS ON SITE.

200MM

300MM ON ORIGINAL